



**PLANNING COMMISSION REGULAR MEETING**  
Zoom Webinar and/or Town Council Chamber  
3 S. Timber Ridge Parkway, Severance, CO 80550

---

**AGENDA**  
**PLANNING COMMISSION REGULAR MEETING**  
**Wednesday, January 21, 2026, at 6:00 PM**

**A. CALL TO ORDER**

1. Roll Call
2. Pledge of Allegiance
3. Approval of Agenda
4. Approval of Minutes 9.17.25
5. Public Comment

*The purpose of the Public Comment is for members of the public to speak to the Planning Commission on any subject not scheduled on the agenda. To accomplish scheduled agenda items, comments should be limited to three minute for those attending in person or an appropriate time as deemed by the Chair. The Planning Commission shall make no decisions or take action on comments, but may choose to schedule the matter for a decision later. Those addressing the Planning Commission, please state your name and address. and sign-in.*

**B. REGULAR MEETING**

1. **Appointment of Chair**
  - Legislative
  - Staff Presentation: Shani Porter, Planning Director
2. **Appointment of Vice-Chair**
  - Legislative
  - Staff Presentation: Shani Porter, Planning Director
3. **Resolution PC2026-01R: A Resolution of the Town of Severance Planning Commission approving, with conditions, a Site Plan application for Platte Valley Veterinary Clinic on real property located within the Town of Severance, Lot 5 Block 1, Scotch Pine Commercial at Timber Ridge PUD**
  - Legislative, Discussion
  - Staff Presentation: Shani Porter, Planning Director

**C. COMMUNICATIONS**

*Commission approval may be sought for administrative actions in association with staff reports.*

1. Town Staff

2. Commissioners

**D. ADJOURN**

**Planning Commission MEETING**  
*Wednesday, January 21, 2026, 6:00 PM (MDT)*

*The Planning Commission reserves the right to adjourn to a virtual-only meeting at their discretion should the need arise.*

*Registration URL*

[https://us02web.zoom.us/webinar/register/WN\\_8WAKbBepTvexQIKz59qmfA](https://us02web.zoom.us/webinar/register/WN_8WAKbBepTvexQIKz59qmfA)

*The Town of Severance does not discriminate on the basis of race, color, national origin, sex, religion, age or disability in the provision of services. For disabled persons needing reasonable accommodation to attend or participate in a town service, program, public meeting, or activity, call 970-686-1218 at least 72 hours in advance. Disabled access is available from the front entrance of the Town Hall.*



**PLANNING COMMISSION REGULAR MEETING**  
Zoom Webinar and/or Town Council Chamber  
3 S. Timber Ridge Parkway, Severance, CO 80550

---

**REGULAR MEETING MINUTES**  
**Wednesday, September 17, 2025, at 6:00 PM**

**Chair:** Kris Quandt  
**Vice-Chair:** Joe Pirrone  
**Commissioners:** David Rau  
Dan Spykstra  
Josh Ochs  
Jennifer Shaw  
Jennifer Roe  
**Audience:** Justin Spaeth, Aubrey Jones, Domanick Torres  
**Staff:** Shani Porter, Planning Director  
Lindsay Radcliff Coombes, Deputy Town Manager  
Sarah Jacobsen, Town Clerk  
Russ Weber, Building Official

**A. CALL TO ORDER**

**1. Roll Call**

Present:

Chair Kris Quandt, Vice-Chair Joe Pirrone, Commissioner Dan Spykstra, Commissioner David Rau, Commissioner Jennifer Shaw, Commissioner Josh Ochs, Commissioner Jennifer Roe

**2. Pledge of Allegiance**

**3. Approval of Agenda**

**4. Approval of Minutes 8.20.25**

**MOTION WAS MADE BY Vice-Chair Pirrone**, seconded by Commissioner Spykstra to approve the meeting Minutes 8.20.25 amending the spelling of Commissioner Roe's last name at the beginning of the minutes. All Commissioners present voting Yes.

**MOTION PASSED**

**5. Public Comment**

*The purpose of the Public Comment is for members of the public to speak to the Planning Commission on any subject not scheduled on the agenda. To accomplish scheduled agenda items, comments should be limited to three minute for those attending in person or an appropriate time as deemed by the Chair. The Planning Commission shall make no decisions or take action on comments, but may choose to schedule the matter for a decision later. Those addressing the Planning Commission, please state your name and address. and sign-in.*

No public comment.

## **B. REGULAR MEETING**

### **1. Amendment to an existing Use by Special Review for a Storage Facility to allow for batting cages.**

- Discussion
- Staff Presentation: Shani Porter, Planning Director

The item was presented to the Commission by Planning Director Shani Porter. The applicant, Justin Speath, was present and answered the Commissioner's questions. Tenant, Semper Fi Athletics, representative Aubrey Jones addressed the Commission and Domanick Torres, one of the baseball players who trains at Semper Fi Athletics, spoke.

**MOTION WAS MADE BY Commissioner Roe**, seconded by Commissioner Spykstra to approve the Amendment to an existing Use by Special Review for a Storage Facility to allow for batting cages.. All Commissioners present voting Yes.

**MOTION PASSED**

### **2. Development Process in the Town of Severance - training**

- Discussion
- Staff Presentation: Shani Porter, Planning Director

Planning Director Shani Porter introduced the item with a Powerpoint presentation and answered Commissioner questions.

## **C. COMMUNICATIONS**

*Commission approval may be sought for administrative actions in association with staff reports.*

1. Town Attorney
2. Town Staff
3. Town Management
4. Commissioners
5. Chair

## **D. ADJOURN**

**MOTION WAS MADE BY Commissioner Rau**, seconded by Vice-Chair Pirrone to

ADJOURN the meeting at 7:17 p.m. All Commissioners present voting Yes.

**MOTION PASSED**

TOWN OF SEVERANCE

\_\_\_\_\_  
Kris Quandt, Chair

ATTEST

\_\_\_\_\_  
Sarah Jacobsen, Town Clerk



## AGENDA ITEM SUMMARY

| AGENDA ITEM   | SUBMITTED BY                    | PRESENTED BY  |
|---|---------------------------------|---|
| Appointment of Chair  | Shani Porter, Planning Director | Shani Porter  |
| <b>ACTION REQUESTED</b>   |                                 |   |
| <p>The Planning Department asks that the Planning Commission discuss the Chair appointment and take action.</p> <ul style="list-style-type: none"> <li>• Actions that may be taken:               <ul style="list-style-type: none"> <li>○ Move to appoint a Chair for a one-year term</li> </ul> </li> </ul>   |                                 | <p><b><u>Action Requested</u></b><br/><b><u>Attorney Approved</u></b></p> |
| <b>BRIEF SUMMARY</b>  |                                 |   |
| <p>Per Chapter 2, Article 5, Section 2-5-70 of the Severance Municipal Code:</p> <p><i>The Planning Commission shall select a Chair who shall serve a term of one (1) year with eligibility for reelection. A Vice Chair may be selected from the entire membership of the Planning Commission. However, no alternate member shall be eligible to serve as an officer of the Planning Commission. In the absence of both the Chair and Vice Chair, any member of the Planning Commission may conduct the meeting.</i></p> <p><i>(Ord. 2001-04 §1; Ord. 2007-07 §1; Ord. 2019-03 §3)</i></p> |                                 |   |
| <b>PUBLIC SUPPORT/CONCERN</b>   |                                 |   |
| None at this time.  |                                 |   |
| <b>ANALYSIS AND RECOMMENDATION</b>  |                                 |   |
| Planning Staff recommends that the Planning Commission take action and move to appoint a Chair for a one-year term.   |                                 |   |
| <b>MATERIALS SUBMITTED</b>  |                                 |   |
| <p>The following materials were submitted and included in this packet:</p> <p>None</p>  |                                 |   |



## AGENDA ITEM SUMMARY

| AGENDA ITEM   | SUBMITTED BY                    | PRESENTED BY  |
|---|---------------------------------|---|
| Appointment of Vice-Chair   | Shani Porter, Planning Director | Shani Porter  |
| <b>ACTION REQUESTED</b>   |                                 |   |
| <p>The Planning Department asks that the Planning Commission discuss the Vice-Chair appointment and take action.</p> <ul style="list-style-type: none"> <li>• Actions that may be taken:               <ul style="list-style-type: none"> <li>○ Move to appoint a Vice-Chair for a one-year term</li> </ul> </li> </ul>   |                                 | <p><b><u>Action Requested</u></b><br/><b><u>Attorney Approved</u></b></p> |
| <b>BRIEF SUMMARY</b>  |                                 |   |
| <p>Per Chapter 2, Article 5, Section 2-5-70 of the Severance Municipal Code:</p> <p><i>The Planning Commission shall select a Chair who shall serve a term of one (1) year with eligibility for reelection. A Vice Chair may be selected from the entire membership of the Planning Commission. However, no alternate member shall be eligible to serve as an officer of the Planning Commission. In the absence of both the Chair and Vice Chair, any member of the Planning Commission may conduct the meeting.</i></p> <p><i>(Ord. 2001-04 §1; Ord. 2007-07 §1; Ord. 2019-03 §3)</i></p> |                                 |   |
| <b>PUBLIC SUPPORT/CONCERN</b>   |                                 |   |
| None at this time.  |                                 |   |
| <b>ANALYSIS AND RECOMMENDATION</b>  |                                 |   |
| Planning Staff recommends that the Planning Commission take action and move to appoint a Vice-Chair for a one-year term.  |                                 |   |
| <b>MATERIALS SUBMITTED</b>  |                                 |   |
| <p>The following materials were submitted and included in this packet:</p> <p>None</p>  |                                 |   |



## AGENDA ITEM SUMMARY

| AGENDA ITEM  | SUBMITTED BY  | PRESENTED BY                           |
|--|---|--|
| <p><b>Resolution PC2026-01R:</b> A Resolution of the Town of Severance Planning Commission approving, with conditions, a Site Plan application for Platte Valley Veterinary Clinic on real property located within the Town of Severance, Lot 5 Block 1, Scotch Pine Commercial at Timber Ridge PUD</p>  | <p>Shani Porter, Planning Director</p>                      | <p>Shani Porter, Planning Director</p> |
| <p><b>ACTION REQUESTED</b></p>   |   |  |
| <p>Town Staff requests the Planning Commission review and take action on the proposed Site Plan as follows:</p> <ol style="list-style-type: none"> <li>1. Move to approve Resolution 2026-01R with Conditions</li> <li>2. Move to deny Resolution 2026-01R</li> <li>3. Take no action</li> </ol>   | <p style="text-align: center;"><b><u>Resolution</u></b></p> |  |
| <p><b>BRIEF SUMMARY</b></p>  |   |  |
| <p>The development will serve as an office and clinic for Platte Valley Veterinary Clinic. The single-phase site plan proposes a two-story 7,856 square foot building to be constructed on a current vacant 1.477-acre parcel. The property is located south of Blue Spruce to the north, Mahogany Way to the east, Scotch Pine Drive to the south and existing commercial development to the west. The property is zoned Town Core.</p>   |   |  |
| <p><b>PUBLIC SUPPORT/CONCERN</b></p>   |   |  |
| <p>None at this time</p>   |   |  |
| <p><b>ANALYSIS AND RECOMMENDATION</b></p>  |   |  |
| <p>Town Staff has reviewed the application for the Site Plan and finds it consistent with Town of Severance Comprehensive Plan and Section 16.2.240(d) Site Plan review criteria of the Land Use Code. Town Staff recommends that the Planning Commission recommend approval to Town Council with the following conditions:</p> <ol style="list-style-type: none"> <li>1. A Flood Hazard Development Permit (FHDP) must be approved, or a letter from FEMA must be submitted for approval of any development in the floodway.</li> <li>2. All remaining technical corrections to the Site Plan and Construction Drawings requested by Town staff shall be finalized prior to construction activities.</li> </ol> |   |  |
| <p><b>MATERIALS SUBMITTED</b></p>  |   |  |
| <p>The following materials were submitted and included in this packet:</p> <ol style="list-style-type: none"> <li>1. Reso PC-2026-01R</li> <li>2. Platte Valley Veterinary - 2nd Site Plan (2025-10-28)</li> <li>3. Platte Valley Veterinary - Letter of Intent (2025-10-28)</li> </ol>  |   |  |

4. RCE Response - TOS Comments 1st review memo

**SEVERANCE PLANNING COMMISSION  
RESOLUTION NO. PC2026-01R**

**A RESOLUTION OF THE SEVERANCE PLANNING COMMISSION  
RECOMMENDING APPROVAL OF SITE DEVELOPMENT PLAN FOR  
CERTAIN REAL PROPERTY LOCATED WITHIN THE TOWN OF  
SEVERANCE**

**WHEREAS**, Platte Valley Veterinarian Clinic – Andrew Kidd, (“Applicant”), as owner of certain real property legally described as Lot 5 Block 1, Scotch Pine Commercial at Timber Ridge PUD, Town of Severance (“Property”), has submitted an application for site plan approval to develop and construct a two-story 7,856 square foot Veterinary Clinic on the Property (the “Application”); and

**WHEREAS**, the Severance Planning Commission has conducted a meeting on the Application, and has considered all the evidence presented at the public hearing, the relevant site plan standards and review criteria set forth in the Severance Municipal Code (“Code”); and

**WHEREAS**, the Severance Planning Commission wishes to make a recommendation to the Town Council regarding the Application.

**NOW, THEREFORE, BE IT RESOLVED BY THE SEVERANCE PLANNING COMMISSION:**

1. That the Severance Planning Commission recommends approval of the Application, including the site plan, with the following conditions:
  - a. A Flood Hazard Development Permit (FHDP) must be approved, or a letter from FEMA must be submitted for approval prior to any development in the floodway.
  - b. All remaining technical corrections to the Site Plan and Construction Drawings requested by Town staff shall be finalized prior to construction activities.

**PASSED AND ADOPTED THIS 21<sup>ST</sup> DAY OF JANUARY, 2026.**

\_\_\_\_\_  
Kris Quandt, Chair

ATTEST

\_\_\_\_\_  
Sarah Jacobsen, Town Clerk





# PLATTE VALLEY VETERINARY

## SITE PLAN

LOT 5, BLOCK 1, SCOTCH PINE COMMERCIAL AT TIMBER RIDGE PUD  
 LOCATED IN THE NORTHEAST 1/4 OF SECTION 2, TOWNSHIP 6 NORTH, RANGE 67 WEST OF THE 6TH P.M.  
 TOWN OF SEVERANCE, COUNTY OF WELD, STATE OF COLORADO  
 EXISTING ADDRESS: 335 WEST 4TH AVENUE, SEVERANCE, CO



### GRADING NOTES:

- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATION. IF IT IS DETERMINED IN THE FIELD THAT POSITIVE DRAINAGE IS NOT POSSIBLE, CONTRACTOR SHALL CONTACT ENGINEERING IMMEDIATELY.
- CONTRACTOR SHALL ENSURE FAMILIARITY WITH THE GEOTECHNICAL REPORT RECOMMENDATIONS FOR SURFACE DRAINAGE ON THE PROJECT. CONTRACTOR SHALL ENSURE 4" CLEARANCE FROM BOTTOM OF BUILDING FAÇADE TO EXISTING/FINISHED GRADE ADJACENT TO FOUNDATION UNLESS OTHERWISE NOTED BY THE GEOTECHNICAL ENGINEER. CONTRACTOR SHALL ENSURE 6" CLEARANCE FROM TOP OF SLAB TO EXISTING/FINISHED GRADE ADJACENT TO FOUNDATION UNLESS OTHERWISE NOTED BY THE GEOTECHNICAL ENGINEER. IF THESE CONDITIONS ARE NOT POSSIBLE IN FIELD, CONTRACTOR SHALL CONTACT ENGINEERING IMMEDIATELY.
- DOWNSPOUT DISCHARGE SHALL NOT BE ROUTED TOWARD ADJACENT PROPERTIES. ADDITIONALLY, DOWNSPOUTS SHALL BE ROUTED AWAY FROM SIDEWALKS WHENEVER POSSIBLE TO AVOID ICING AND PEDESTRIAN RISK.
- ALL CONCENTRATED FLOWS SHALL BE RELEASED NO CLOSER THAN 10' TO FRONT PROPERTY LINE AND 9' TO SIDE PROPERTY LINES. ALL FLOWS SHALL BE ROUTED AWAY FROM ADJACENT PROPERTIES.
- ALL CURBS SHOWN HEREON ARE ASSUMED TO BE 6" VERTICAL CURB UNLESS OTHERWISE NOTED. ALL ADA RAMP SHOWN HEREON ARE ASSUMED TO BE 12:1 SLOPE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REFER TO ALL STRUCTURAL DRAWINGS AND CIVIL ENGINEER DRAWINGS PRIOR TO CONSTRUCTION OF FOUNDATION. ANY DISCREPANCIES SHALL BE BROUGHT TO CIVIL ENGINEER'S ATTENTION IMMEDIATELY.
- MAXIMUM ADA CROSS-SLOPE IS 2% AND MAXIMUM LONGITUDINAL SLOPE IS 5% WITHOUT HANDRAILS. CONTRACTOR SHALL CONTACT ENGINEER IF ADA PATHS/ACCESS POINTS DO NOT MEET THESE CONDITIONS IN THE FIELD.

### SURVEY STATEMENT:

RAPTOR CIVIL ENGINEERING (RCE) RELIED ON THE LAND SURVEY PREPARED BY KING SURVEYORS. RCE TAKES NO RESPONSIBILITY FOR ERRORS/OMISSIONS BY LAND SURVEYOR.

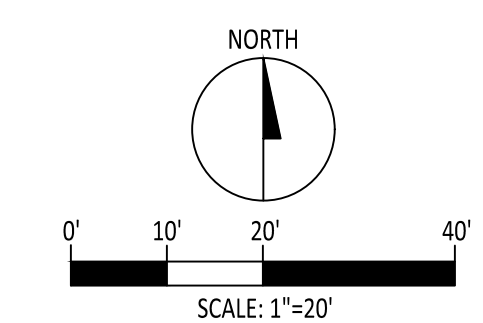
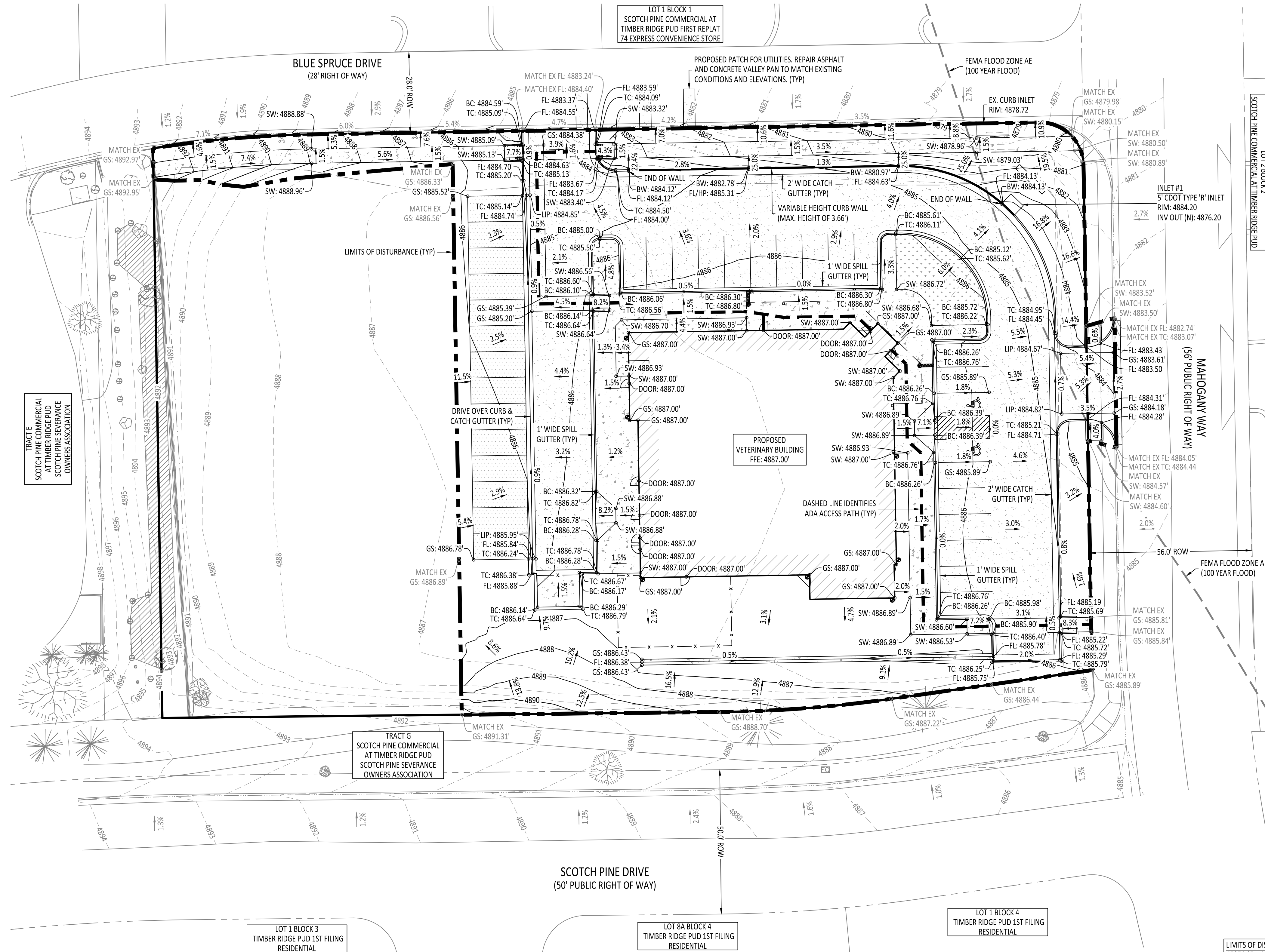
### BASIS OF BEARINGS:

ASSUMING THE NORTH LINE OF LOT 5, BLOCK 1, SCOTCH PINE COMMERCIAL AT TIMBER RIDGE PUD, AS BEARING NORTH 89°03'30" EAST BEING A GRID BEARING OF THE COLORADO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM 1983/2011, A DISTANCE OF 252.20 FEET WITH ALL OTHER BEARINGS CONTAINED HEREIN RELATIVE THERETO.

THE LINEAL DIMENSIONS AS CONTAINED HEREIN ARE BASED UPON THE "U.S. SURVEY FOOT."

### BENCHMARK STATEMENT:

NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88) & GEOID18.  
 BENCHMARK: Q.136  
 ELEV = 4767.82



- LIMITS OF DISTURBANCE:**  
 45354 SF = 1.04 AC
- ABBREVIATION LIST:**  
 FG: FINISHED GRADE  
 EG: EXISTING GRADE  
 EX: EXISTING  
 LIP: GUTTER LIP  
 FL: FLOWLINE  
 TC: TOP OF CURB  
 BC: BOTTOM OF CURB  
 TW: TOP OF WALL  
 BW: BOTTOM OF WALL  
 GS: GROUND SHOT  
 TS: TOP OF STEP  
 BS: BOTTOM OF STEP  
 SW: SIDEWALK  
 GB: GRADE BREAK  
 FFE: FINISHED FLOOR ELEVATION

- LEGEND:**
- PROPERTY LINE
  - ADA ROUTE
  - FLOOD ZONE
  - LIMITS OF DISTURBANCE
  - EXISTING CONTOUR
  - PROPOSED CONTOUR
  - SLOPE ARROW
  - SPOT ELEVATION
  - RETAINING WALL
  - DOWNSPOUT

# PLATTE VALLEY VETERINARY

## SITE PLAN

TOWN OF SEVERANCE, COUNTY OF WELD, STATE OF COLORADO

25-017

**COPYRIGHT 2025**  
 THIS DOCUMENT IS AN INSTRUMENT OF SERVICE, AND AS SUCH REMAINS THE PROPERTY OF THE ENGINEER. PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN AGREEMENT WITH RAPTOR CIVIL ENGINEERING.

| REVISION BLOCK |            |     |
|----------------|------------|-----|
| #              | DATE       | BY  |
| 1              | 5/20/2025  | RCE |
| 2              | 10/28/2025 | RCE |

**GRADING PLAN**

# C3

SHEET 3 OF 18

# PLATTE VALLEY VETERINARY

## SITE PLAN

LOT 5, BLOCK 1, SCOTCH PINE COMMERCIAL AT TIMBER RIDGE PUD  
 LOCATED IN THE NORTHEAST 1/4 OF SECTION 2, TOWNSHIP 6 NORTH, RANGE 67 WEST OF THE 6TH P.M.  
 TOWN OF SEVERANCE, COUNTY OF WELD, STATE OF COLORADO  
 EXISTING ADDRESS: 335 WEST 4TH AVENUE, SEVERANCE, CO

# PLATTE VALLEY VETERINARY

## SITE PLAN

TOWN OF SEVERANCE, COUNTY OF WELD, STATE OF COLORADO

25-017

**COPYRIGHT 2025**  
 THIS DOCUMENT IS AN INSTRUMENT OF SERVICE, AND AS SUCH REMAINS THE PROPERTY OF THE ENGINEER. PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN AGREEMENT WITH RAPTOR CIVIL ENGINEERING.

- UTILITY NOTES:**
- HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING UNDERGROUND UTILITIES WERE NOT PROVIDED BY SURVEY USED IN PREPARATION THESE DRAWINGS. APPROXIMATE LOCATIONS OF EXISTING UTILITIES SHOWN HEREON ARE SHOWN USING AS-BUILT DRAWINGS PROVIDED BY THE TOWN OF SEVERANCE. CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS FOR ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO CONTACT RCE IMMEDIATELY FOR DISCREPANCIES FOUND IN THE FIELD.
  - ALL DOMESTIC TAPS SHALL BE INSPECTED BY LOCAL WATER JURISDICTION AT TIME OF TAP. CONTRACTOR IS RESPONSIBLE FOR ENSURING PROPER FIELD INSPECTIONS ARE COMPLETED.
  - CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE WITHIN GRAVITY PIPES. MINIMUM LONGITUDINAL SLOPE OF STORM PIPES IS 0.5%. MINIMUM LONGITUDINAL OF SANITARY SEWER PIPES IS 2% (4 INCH), 1% (6 INCH) AND 0.4% (8 INCH). RCE RECOMMENDS EXCEEDING THESE MINIMUMS WHEREVER POSSIBLE.
  - ALL STORM MANHOLES SHALL HAVE 0.1' DROP MINIMUM UNLESS OTHERWISE NOTED ON THIS PLAN. ALL SANITARY MANHOLES SHALL HAVE 0.2' DROP MINIMUM UNLESS OTHERWISE NOTED ON THIS PLAN. CONTRACTOR SHALL CONTACT ENGINEER WITH ANY FIELD DISCREPANCIES.
  - CONTRACTOR TO CUT EXISTING COPPER SERVICE NEXT TO THE CORPORATION STOP, INSTALL A SOLDERED CAP, AND REMOVE ABANDONED COPPER SERVICE LINE.

**FIRE SPRINKLER MAIN NOTE:**

- IT SHOULD BE NOTED THAT FIRE SPRINKLER DIAMETER SHOWN HEREON IS SHOWN PRIOR TO ENGAGEMENT WITH FIRE SPRINKLER ENGINEER. DUE TO THIS, RCE HAS SHOWN AN ESTIMATED FIRE SPRINKLER MAIN DIAMETER BASED UPON EXPERIENCE WITH SIMILAR PROJECTS. FIRE SPRINKLER ENGINEER SHOULD BE CONSULTED PRIOR TO INSTALLATION OF UNDERGROUND FIRE SPRINKLER MAIN TO ENSURE PROPER SIZING. IF AMENDMENTS TO PROPOSED SIZING ARE REQUIRED, CLIENT SHALL CONTACT ENGINEER TO AMEND PLAN DOCUMENTATION.

**SURVEY STATEMENT:**  
 RAPTOR CIVIL ENGINEERING (RCE) RELIED ON THE LAND SURVEY PREPARED BY KING SURVEYORS. RCE TAKES NO RESPONSIBILITY FOR ERRORS/OMISSIONS BY LAND SURVEYOR.

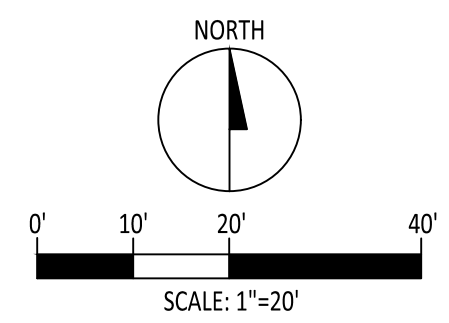
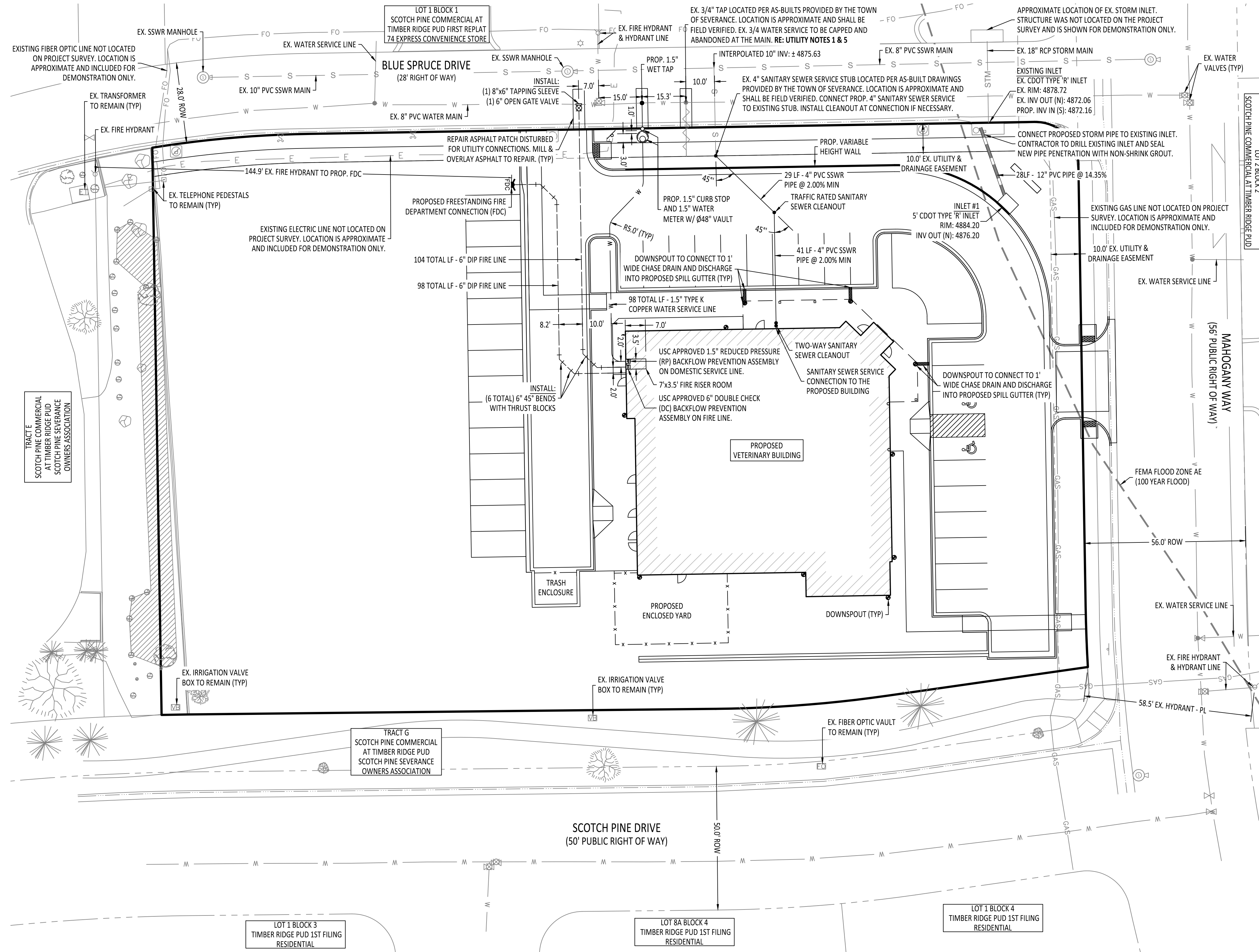
**BASIS OF BEARINGS:**  
 ASSUMING THE NORTH LINE OF LOT 5, BLOCK 1, SCOTCH PINE COMMERCIAL AT TIMBER RIDGE PUD, AS BEARING NORTH 89°03'30" EAST BEING A GRID BEARING OF THE COLORADO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM 1983/2011, A DISTANCE OF 252.20 FEET WITH ALL OTHER BEARINGS CONTAINED HEREIN RELATIVE THERETO.

THE LINEAL DIMENSIONS AS CONTAINED HEREIN ARE BASED UPON THE "U.S. SURVEY FOOT."

**BENCHMARK STATEMENT:**  
 NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88) & GEOID18.  
 BENCHMARK: Q 136  
 ELEV = 4767.82

TOTAL FIRE FLOW REQUIRED FOR THIS SITE IS 1500 GPM MINIMUM AT 20 PSI RESIDUAL PRESSURE  
 THIS FLOW MUST BE PROVIDED FROM A MINIMUM OF 1 FIRE HYDRANTS  
 INDIVIDUALLY, EACH FIRE HYDRANT MUST SUPPLY 1500 GPM MINIMUM AT 20 PSI RESIDUAL PRESSURE

CODE USED FOR ANALYSIS: 2018 IFC W/ 2019 AMENDMENTS  
 OCCUPANCY GROUP(S): B  
 CONSTRUCTION TYPE(S): V-B  
 FIRE FLOW CALCULATION AREA: 7,430 SF  
 THIS BUILDING IS FULLY SPRINKLERED (50% REDUCTION APPLIED)



**LEGEND:**

- PROPERTY LINE
- EASEMENT
- FLOOD ZONE
- UTILITY LINE TO ABANDON
- DOWNSPOUT
- SANITARY CLEANOUT
- STORM PIPE
- 45° FITTING W/ THRUST BLOCK
- WATER LINE
- FIRE LINE
- WATER VALVE
- WATER TAP
- CURB STOP
- WATER METER

| REVISION BLOCK |            |     |
|----------------|------------|-----|
| #              | DATE       | BY  |
| 1              | 5/20/2025  | RCE |
| 2              | 10/28/2025 | RCE |

UTILITY PLAN  
**C4**  
 SHEET 4 OF 18



# PLATTE VALLEY VETERINARY SITE PLAN

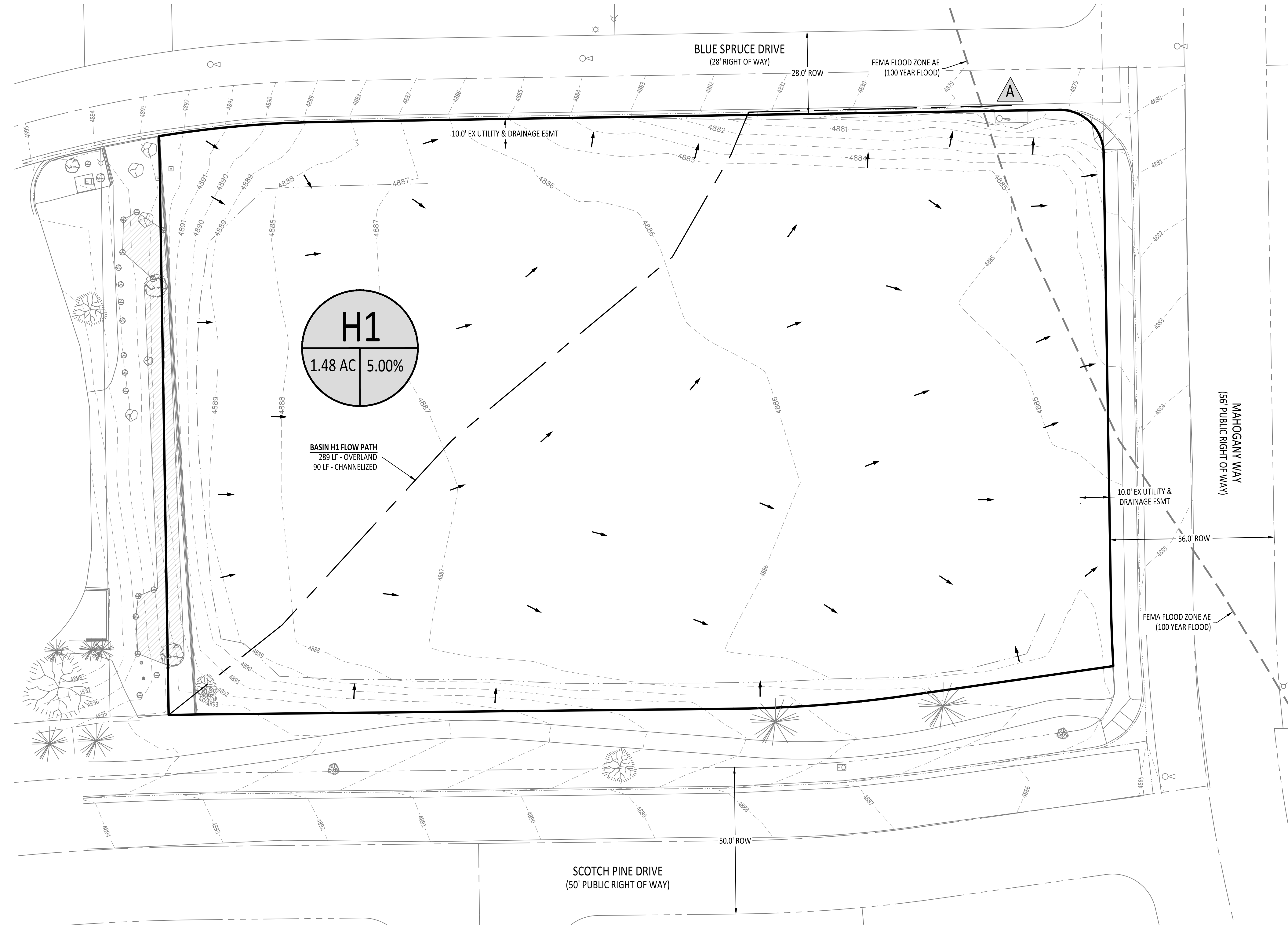
LOT 5, BLOCK 1, SCOTCH PINE COMMERCIAL AT TIMBER RIDGE PUD  
LOCATED IN THE NORTHEAST 1/4 OF SECTION 2, TOWNSHIP 6 NORTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF SEVERANCE, COUNTY OF WELD, STATE OF COLORADO  
EXISTING ADDRESS: 335 WEST 4TH AVENUE, SEVERANCE, CO



**PLATTE VALLEY VETERINARY**  
SITE PLAN  
TOWN OF SEVERANCE, COUNTY OF WELD, STATE OF COLORADO

25-017

**COPYRIGHT 2025**  
THIS DOCUMENT IS AN INSTRUMENT OF SERVICE, AND AS SUCH REMAINS THE PROPERTY OF THE ENGINEER. PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN AGREEMENT WITH RAPTOR CIVIL ENGINEERING.



| Historic Summary Runoff Table |             |                |              |                |                  |                        |                          |                      |                        |
|-------------------------------|-------------|----------------|--------------|----------------|------------------|------------------------|--------------------------|----------------------|------------------------|
| Basin                         | Area (ac)   | Imperviousness | Design Point | C <sub>s</sub> | C <sub>100</sub> | I <sub>s</sub> (in/hr) | I <sub>100</sub> (in/hr) | Q <sub>s</sub> (cfs) | Q <sub>100</sub> (cfs) |
| H1                            | 1.48        | 5.00%          | A            | 0.03           | 0.45             | 1.93                   | 4.66                     | 0.09                 | 3.10                   |
| <b>TOTAL SITE - Historic</b>  | <b>1.48</b> | <b>5.00%</b>   |              |                |                  |                        |                          | <b>0.09</b>          | <b>3.10</b>            |

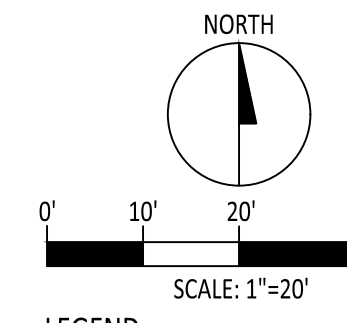
**DRAINAGE NOTES:**  
REFER TO DRAINAGE LETTER PREPARED BY RAPTOR CIVIL ENGINEERING FOR THIS PROJECT FOR ALL STORM SYSTEM CALCULATIONS.

**SURVEY STATEMENT:**  
RAPTOR CIVIL ENGINEERING (RCE) RELIED ON THE LAND SURVEY PREPARED BY KING SURVEYORS. RCE TAKES NO RESPONSIBILITY FOR ERRORS/OMISSIONS BY LAND SURVEYOR.

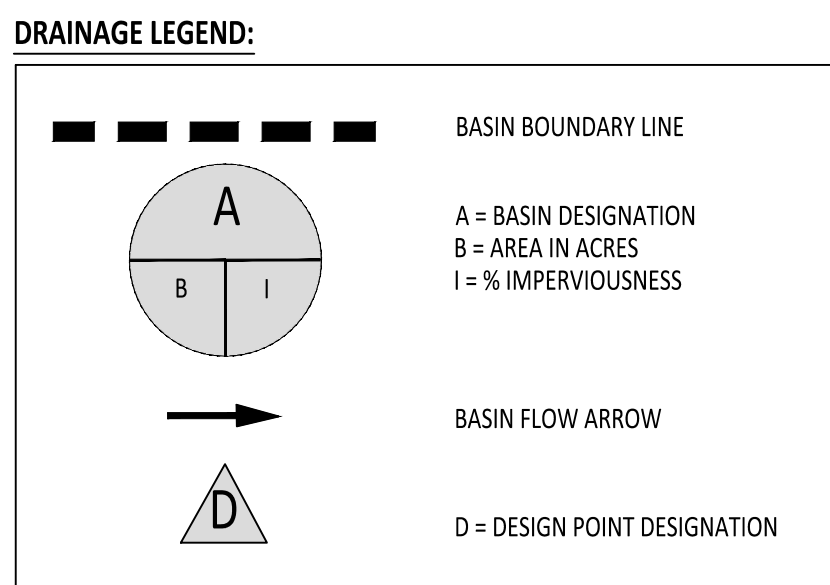
**BASIS OF BEARINGS:**  
ASSUMING THE NORTH LINE OF LOT 5, BLOCK 1, SCOTCH PINE COMMERCIAL AT TIMBER RIDGE PUD, AS BEARING NORTH 89°03'30" EAST BEING A GRID BEARING OF THE COLORADO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM 1983/2011, A DISTANCE OF 252.20 FEET WITH ALL OTHER BEARINGS CONTAINED HEREIN RELATIVE THERETO.

THE LINEAL DIMENSIONS AS CONTAINED HEREIN ARE BASED UPON THE "U.S. SURVEY FOOT."

**BENCHMARK STATEMENT:**  
NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88) & GEOID18.  
BENCHMARK: Q 136  
ELEV = 4767.82



- LEGEND:**
- PROPERTY LINE
  - - - FLOOD ZONE
  - ▨ ASPHALT
  - ▩ CONCRETE
  - RETAINING WALL
  - ~ EXISTING CONTOUR
  - ~ PROPOSED CONTOUR



| REVISION BLOCK |            |     |
|----------------|------------|-----|
| #              | DATE       | BY  |
| 1              | 5/20/2025  | RCE |
| 2              | 10/28/2025 | RCE |

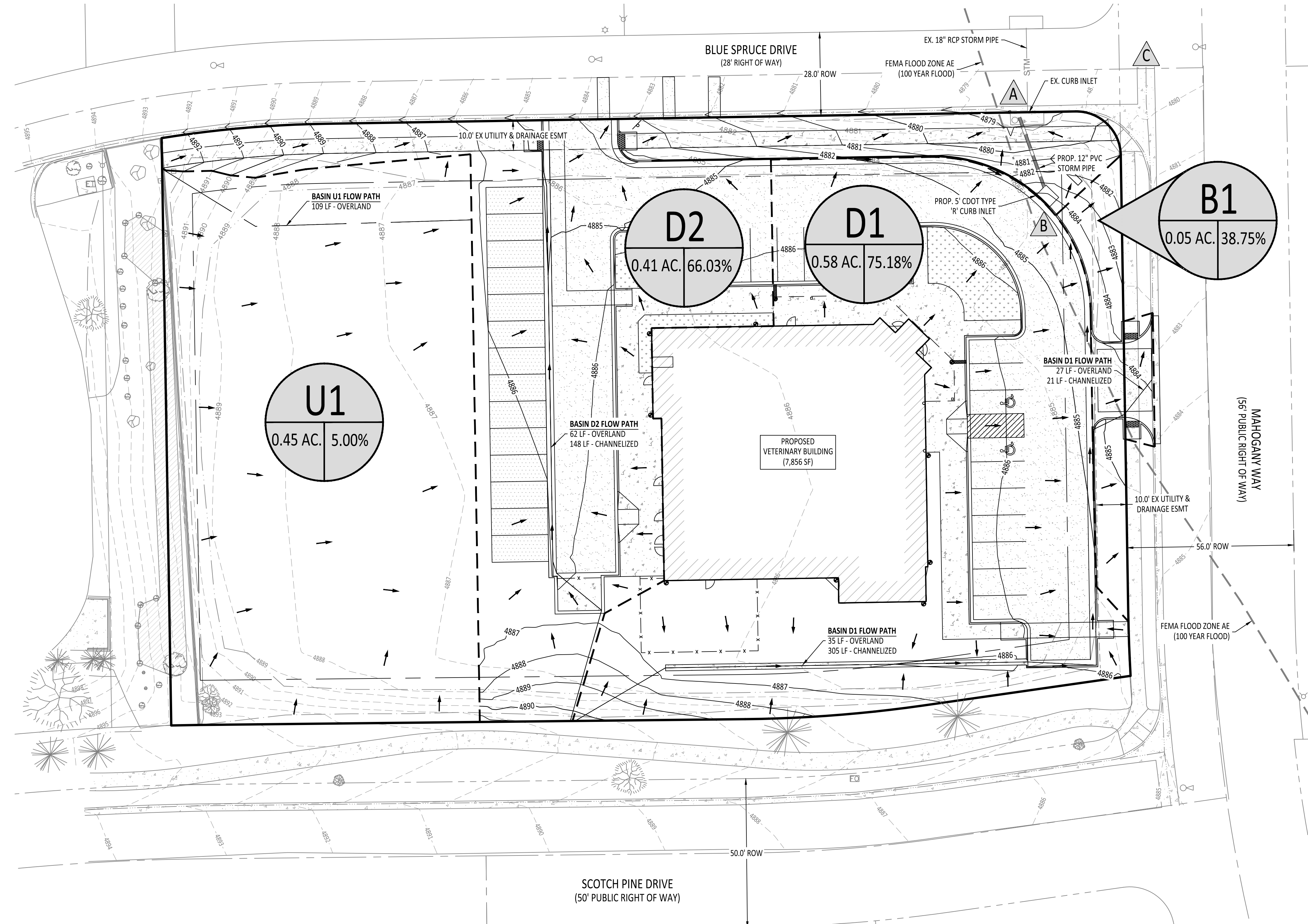
**HISTORIC DRAINAGE PLAN**  
C6  
SHEET 6 OF 18

# PLATTE VALLEY VETERINARY SITE PLAN

LOT 5, BLOCK 1, SCOTCH PINE COMMERCIAL AT TIMBER RIDGE PUD  
LOCATED IN THE NORTHEAST 1/4 OF SECTION 2, TOWNSHIP 6 NORTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF SEVERANCE, COUNTY OF WELD, STATE OF COLORADO  
EXISTING ADDRESS: 335 WEST 4TH AVENUE, SEVERANCE, CO

25-017

**COPYRIGHT 2025**  
THIS DOCUMENT IS AN INSTRUMENT OF SERVICE, AND AS SUCH REMAINS THE PROPERTY OF THE ENGINEER. PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN AGREEMENT WITH RAPTOR CIVIL ENGINEERING.



| Developed Summary Runoff Table                      |             |                |              |                |                  |                        |                          |                      |                        |
|---|-------------|----------------|--------------|----------------|------------------|------------------------|--------------------------|----------------------|------------------------|
| Basin   | Area (ac)   | Imperviousness | Design Point | C <sub>s</sub> | C <sub>100</sub> | I <sub>s</sub> (in/hr) | I <sub>100</sub> (in/hr) | Q <sub>s</sub> (cfs) | Q <sub>100</sub> (cfs) |
| D1  | 0.58        | 75.18%         | B            | 0.64           | 0.78             | 3.83                   | 9.26                     | 1.42                 | 4.19                   |
| D2  | 0.41        | 66.03%         | A            | 0.55           | 0.73             | 3.83                   | 9.26                     | 0.87                 | 2.78                   |
| B1  | 0.05        | 38.75%         | C            | 0.32           | 0.61             | 3.83                   | 9.26                     | 0.06                 | 0.28                   |
| U1  | 0.45        | 0.05           | A            | 0.03           | 0.45             | 2.92                   | 7.06                     | 0.04                 | 1.41                   |
| <b>TOTAL SITE - Developed Limits of Disturbance</b> | <b>1.04</b> | <b>69.85%</b>  |              |                |                  |                        |                          | <b>2.35</b>          | <b>7.25</b>            |
| <b>TOTAL SITE - Developed</b>                       | <b>1.49</b> | <b>50.42%</b>  |              |                |                  |                        |                          | <b>2.39</b>          | <b>8.67</b>            |

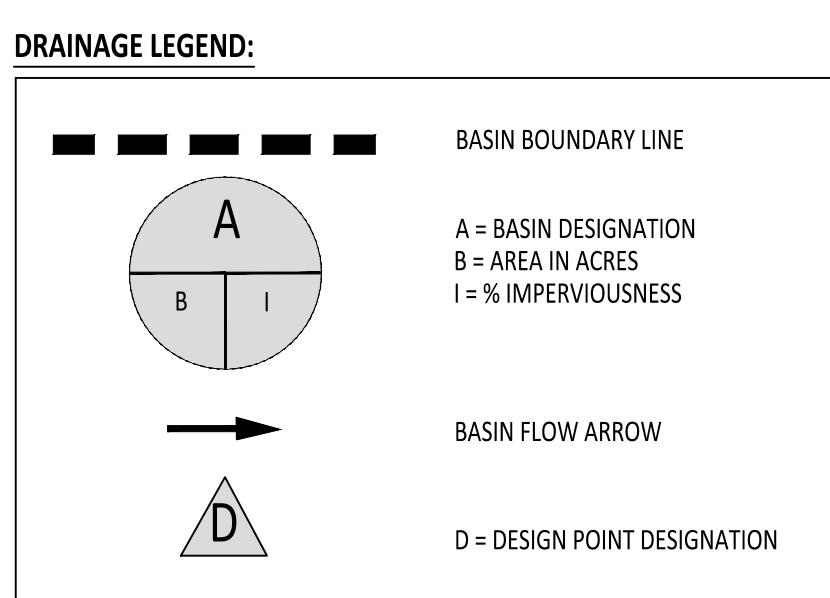
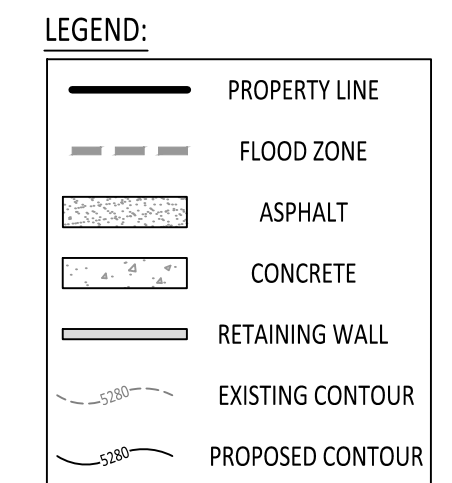
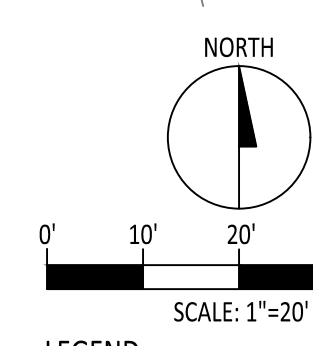
**DRAINAGE NOTES:**  
REFER TO DRAINAGE LETTER PREPARED BY RAPTOR CIVIL ENGINEERING FOR THIS PROJECT FOR ALL STORM SYSTEM CALCULATIONS.

**SURVEY STATEMENT:**  
RAPTOR CIVIL ENGINEERING RELIED ON THE LAND SURVEY PREPARED BY KING SURVEYORS. RCE TAKES NO RESPONSIBILITY FOR ERRORS/OMISSIONS BY LAND SURVEYOR.

**BASIS OF BEARINGS:**  
ASSUMING THE NORTH LINE OF LOT 5, BLOCK 1, SCOTCH PINE COMMERCIAL AT TIMBER RIDGE PUD, AS BEARING NORTH 89°03'30" EAST BEING A GRID BEARING OF THE COLORADO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM 1983/2011, A DISTANCE OF 252.20 FEET WITH ALL OTHER BEARINGS CONTAINED HEREIN RELATIVE THERETO.

THE LINEAL DIMENSIONS AS CONTAINED HEREIN ARE BASED UPON THE "U.S. SURVEY FOOT."

**BENCHMARK STATEMENT:**  
NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88) & GEOID18.  
BENCHMARK: Q 136  
ELEV = 4767.82

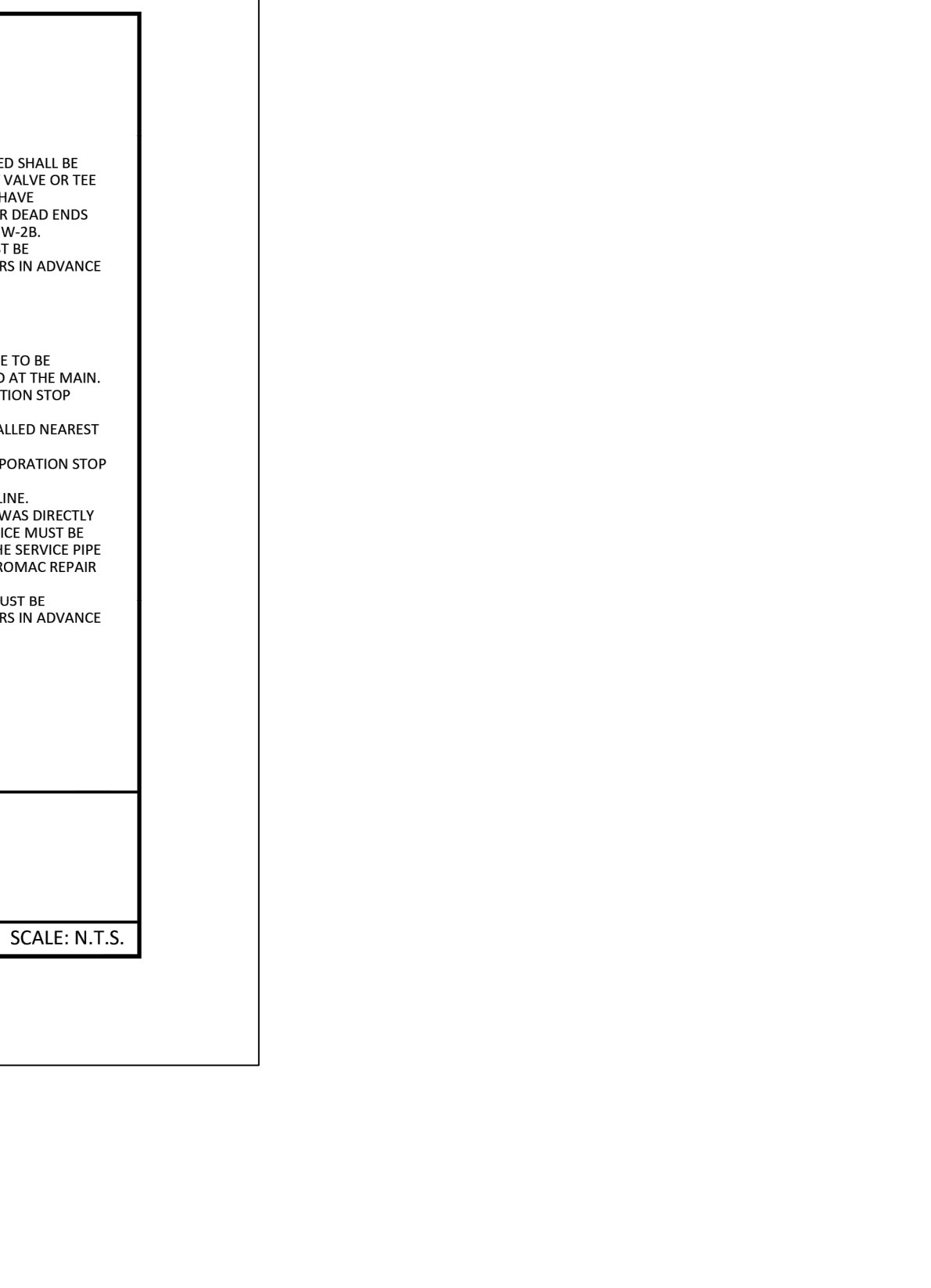
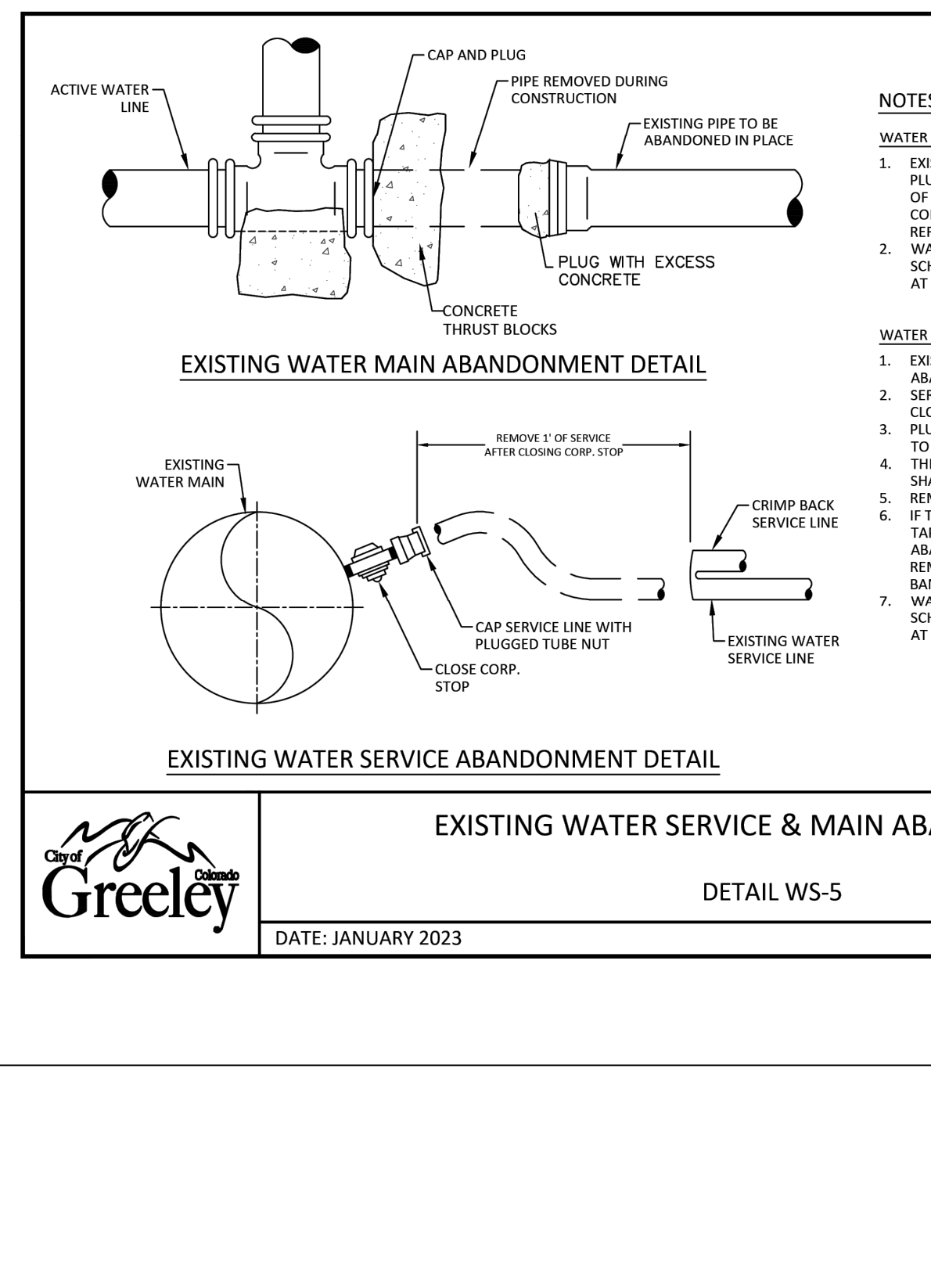
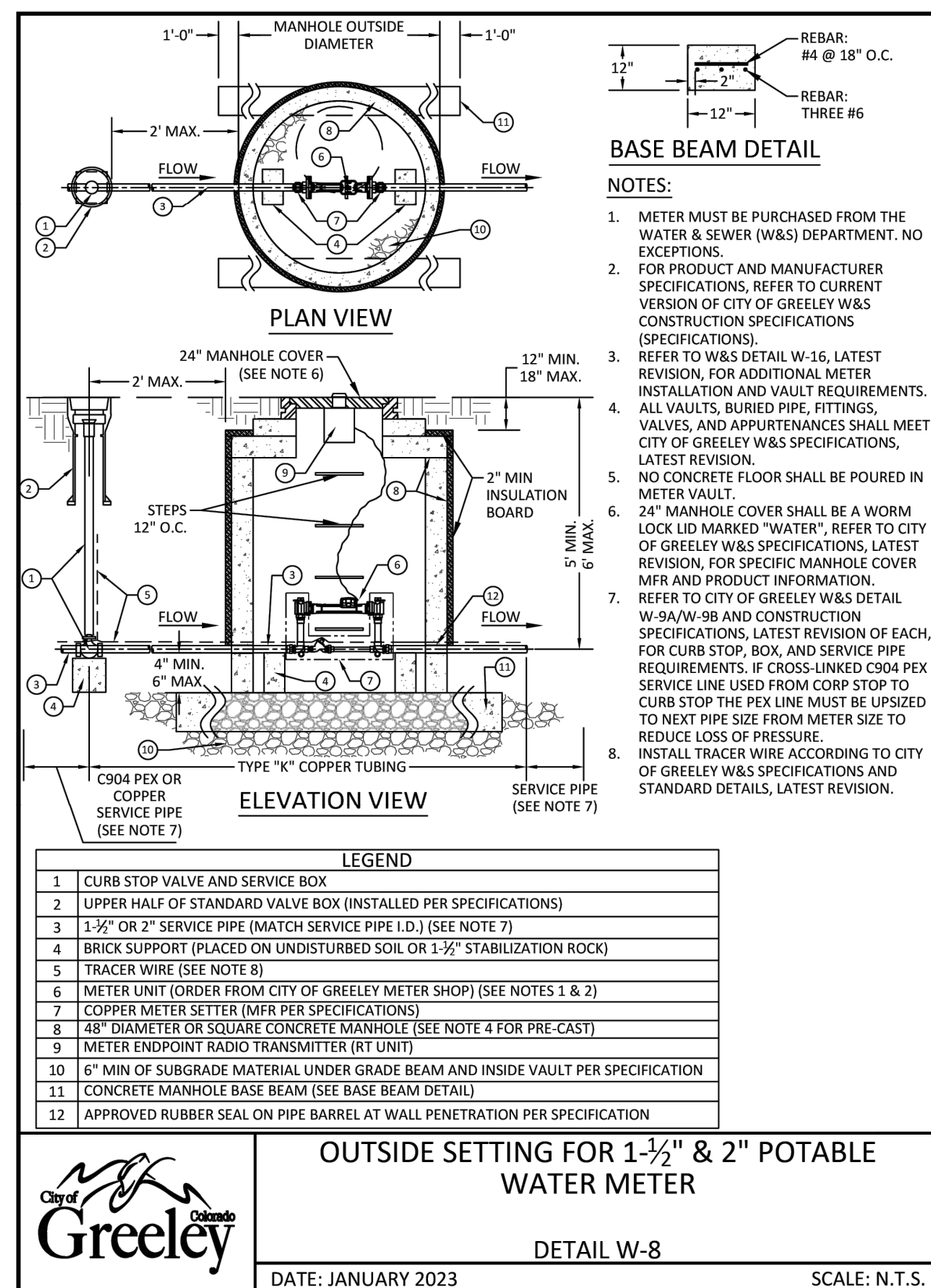
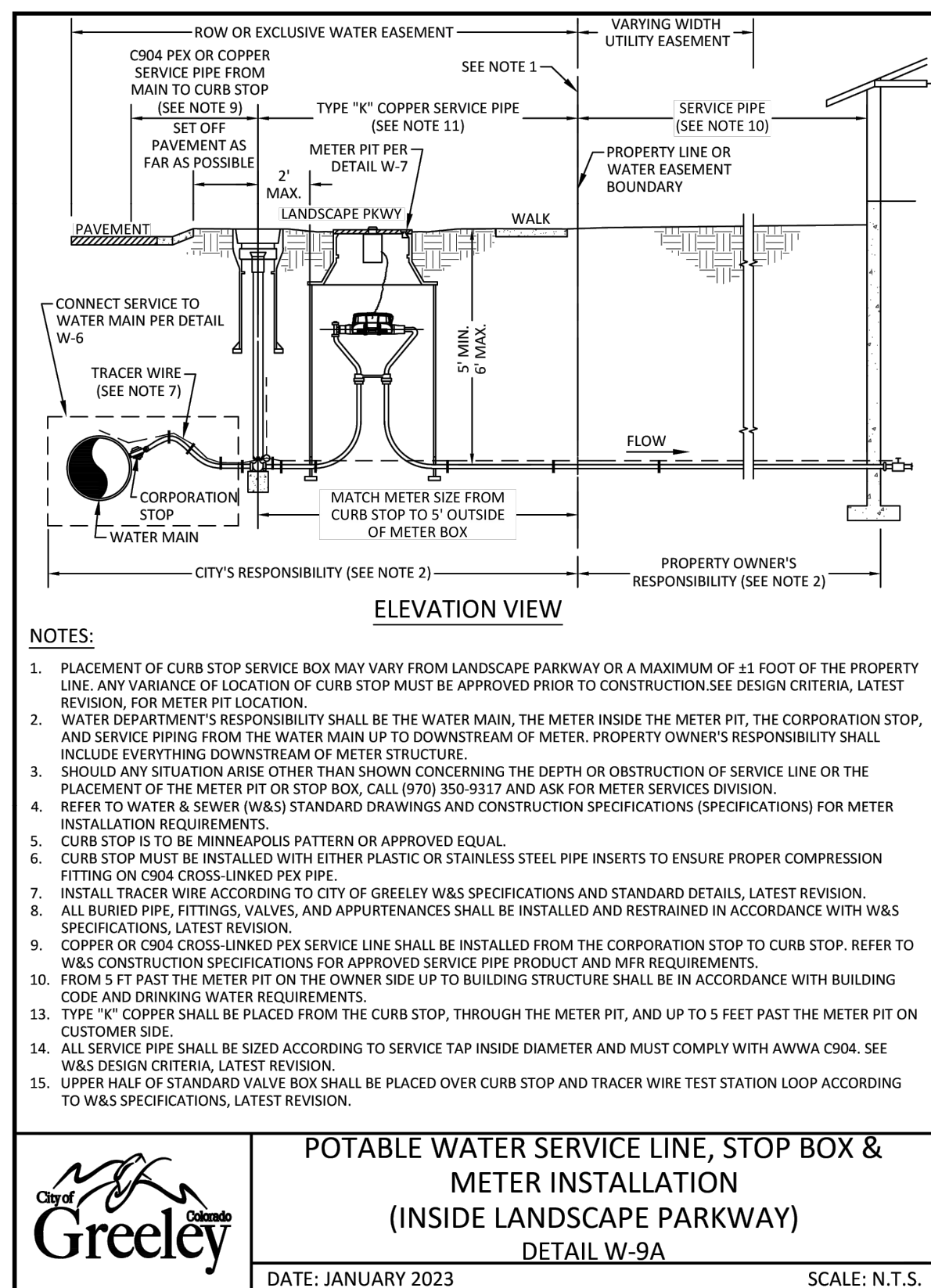
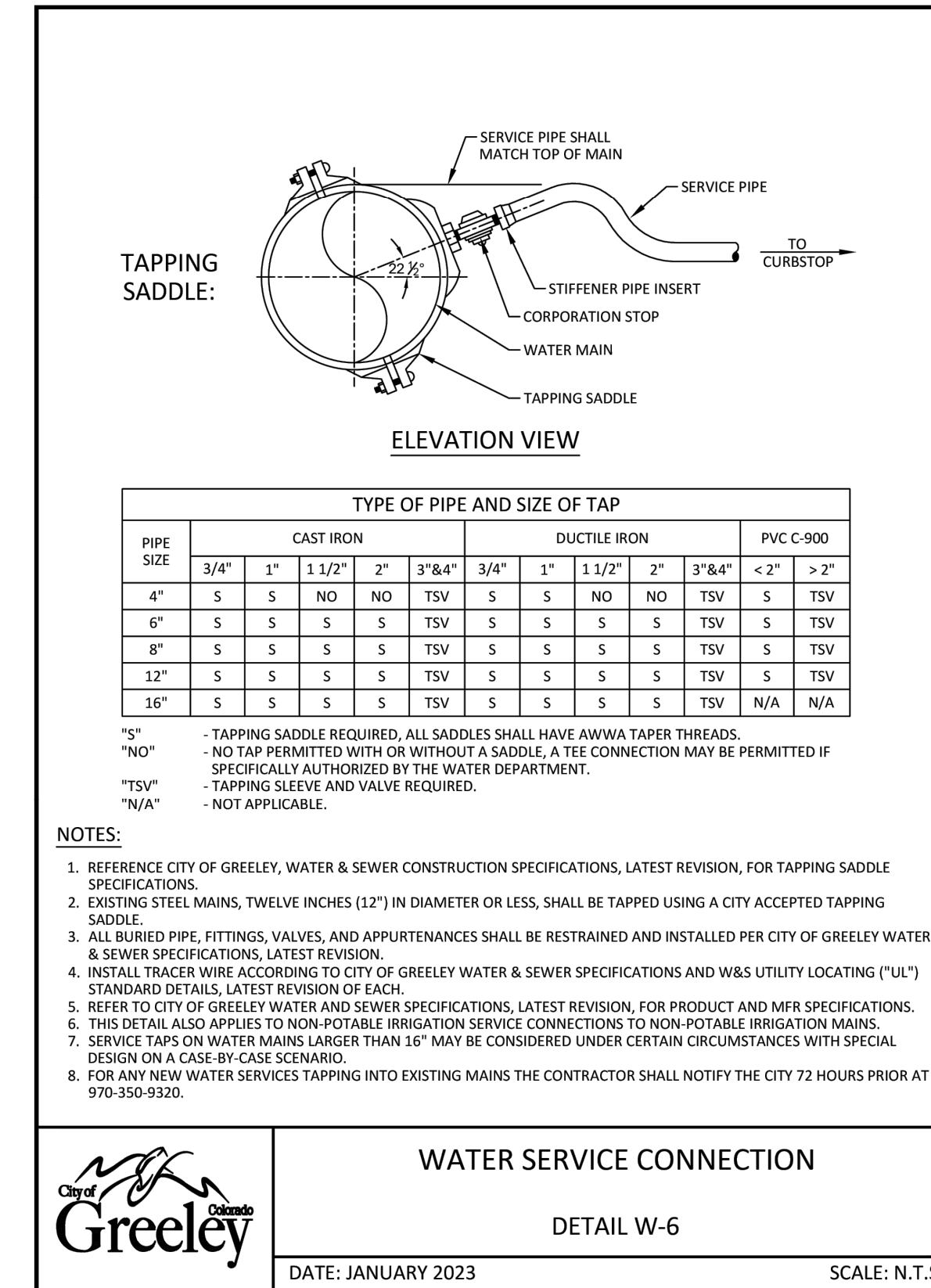
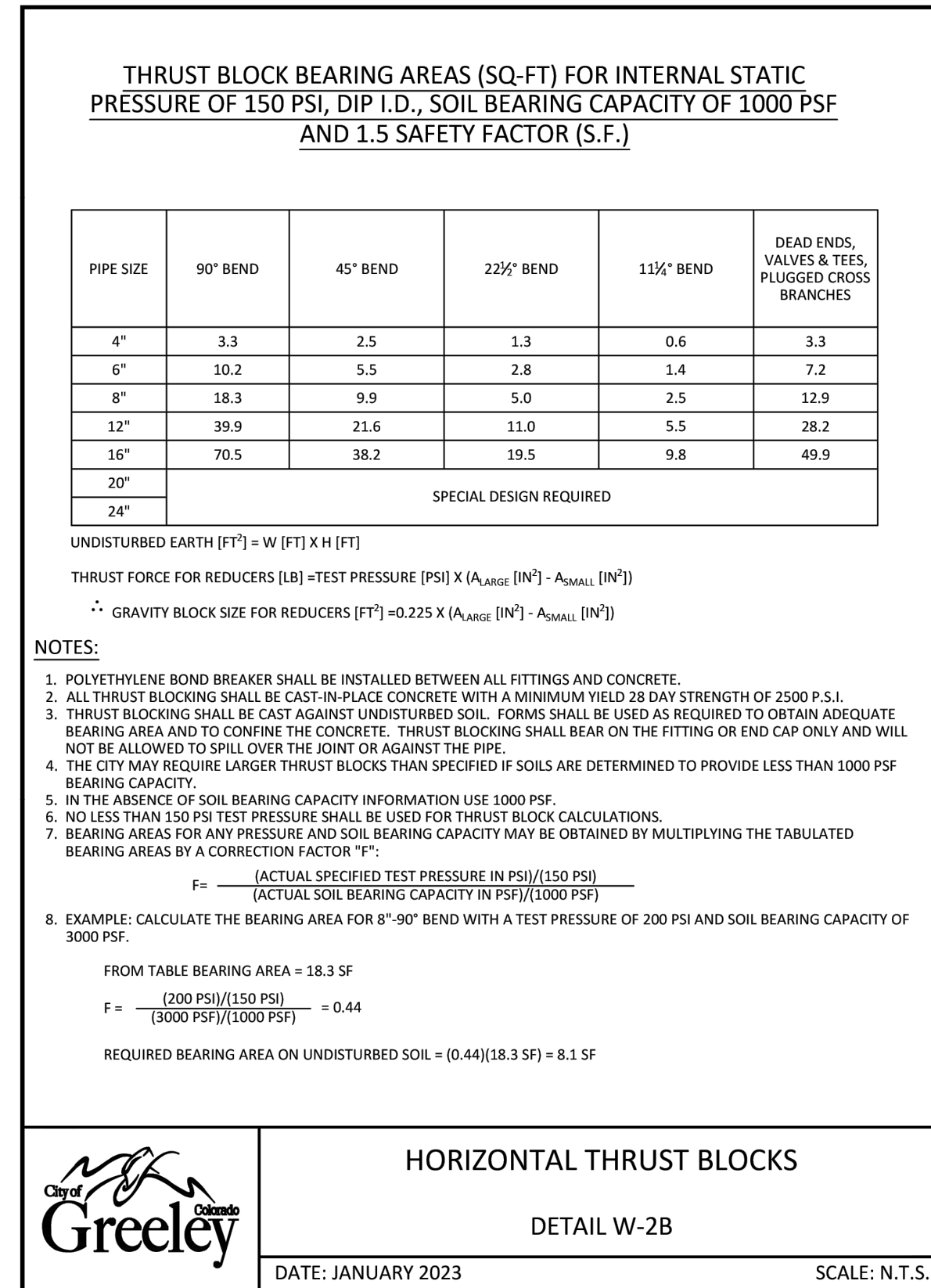
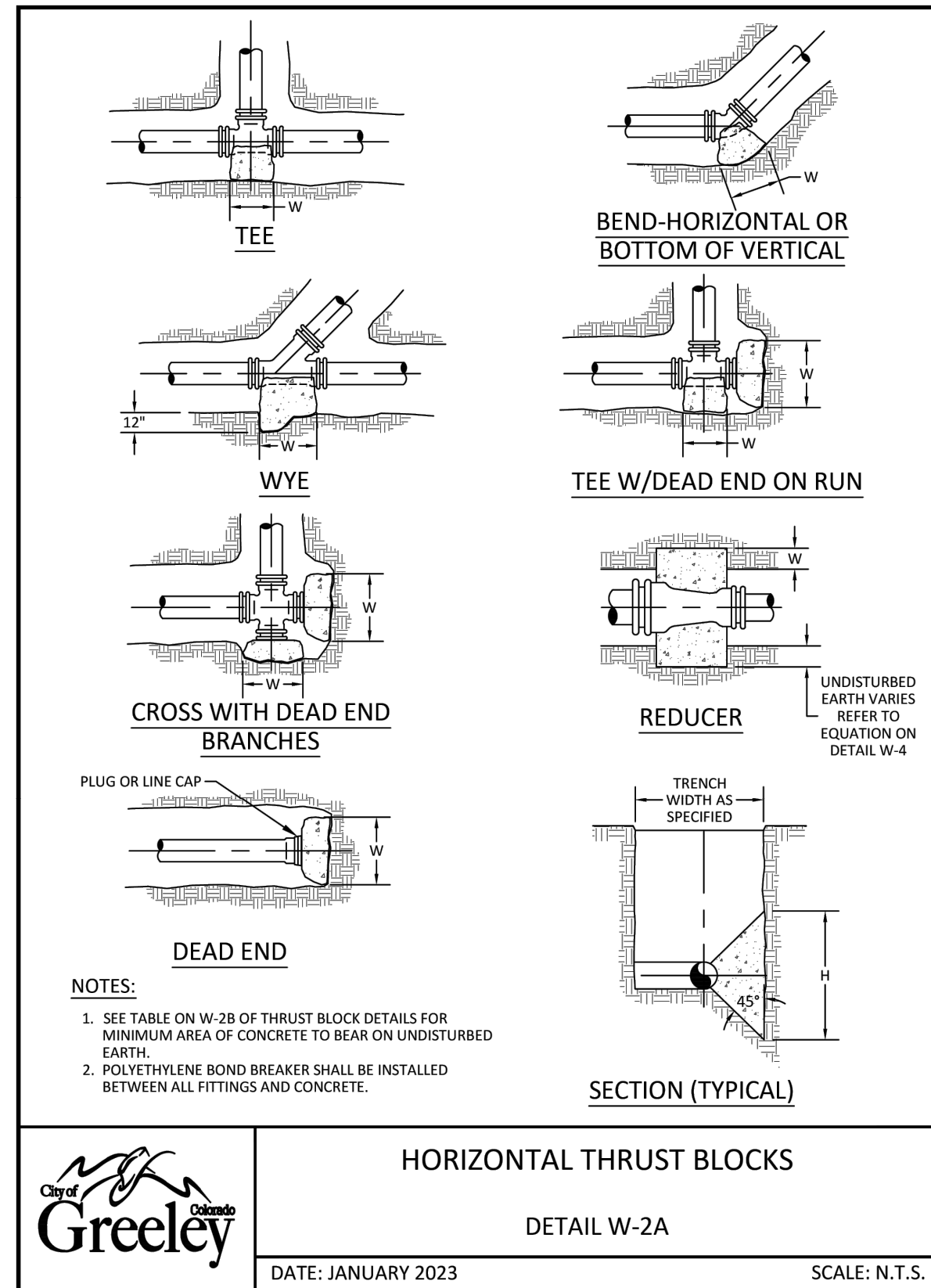
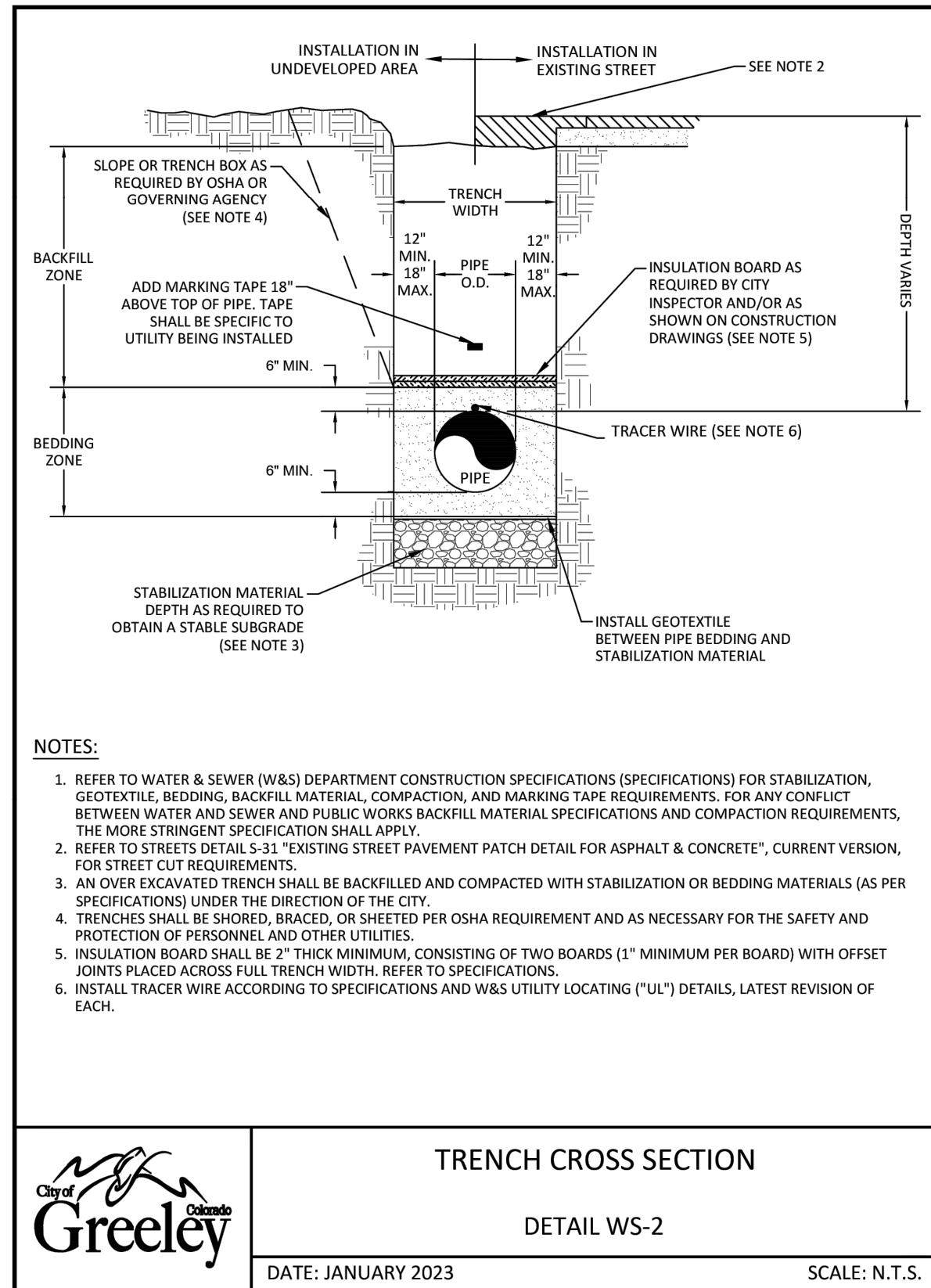


| REVISION BLOCK |            |     |
|----------------|------------|-----|
| #              | DATE       | BY  |
| 1              | 5/20/2025  | RCE |
| 2              | 10/28/2025 | RCE |

# PLATTE VALLEY VETERINARY

## SITE PLAN

LOT 5, BLOCK 1, SCOTCH PINE COMMERCIAL AT TIMBER RIDGE PUD  
 LOCATED IN THE NORTHEAST 1/4 OF SECTION 2, TOWNSHIP 6 NORTH, RANGE 67 WEST OF THE 6TH P.M.  
 TOWN OF SEVERANCE, COUNTY OF WELD, STATE OF COLORADO  
 EXISTING ADDRESS: 335 WEST 4TH AVENUE, SEVERANCE, CO



**PLATTE VALLEY VETERINARY**  
 SITE PLAN  
 TOWN OF SEVERANCE, COUNTY OF WELD, STATE OF COLORADO

25-017

**COPYRIGHT 2025**  
 THIS DOCUMENT IS AN INSTRUMENT OF SERVICE, AND AS SUCH REMAINS THE PROPERTY OF THE ENGINEER. PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN AGREEMENT WITH RAPTOR CIVIL ENGINEERING.

| REVISION BLOCK |            |     |
|----------------|------------|-----|
| #              | DATE       | BY  |
| 1              | 5/20/2025  | RCE |
| 2              | 10/28/2025 | RCE |

**CONSTRUCTION DETAILS**  
 (1 OF 3)  
**C8.1**  
 SHEET 8 OF 18

# PLATTE VALLEY VETERINARY

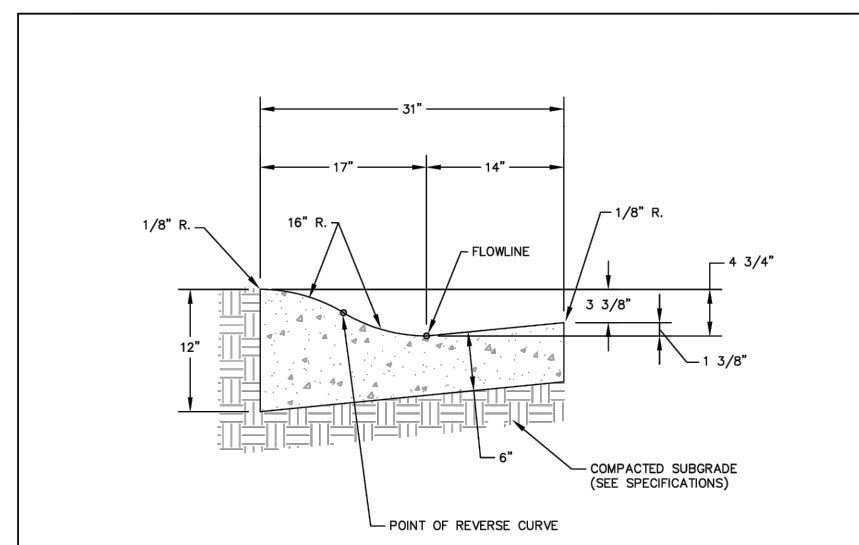
## SITE PLAN

LOT 5, BLOCK 1, SCOTCH PINE COMMERCIAL AT TIMBER RIDGE PUD  
 LOCATED IN THE NORTHEAST 1/4 OF SECTION 2, TOWNSHIP 6 NORTH, RANGE 67 WEST OF THE 6TH P.M.  
 TOWN OF SEVERANCE, COUNTY OF WELD, STATE OF COLORADO  
 EXISTING ADDRESS: 335 WEST 4TH AVENUE, SEVERANCE, CO

| REVISION BLOCK |            |     |
|----------------|------------|-----|
| #              | DATE       | BY  |
| 1              | 5/20/2025  | RCE |
| 2              | 10/28/2025 | RCE |

### S-3 | Drive Over Curb, Gutter & Sidewalk

Design Criteria & Construction Specifications / Standard Details

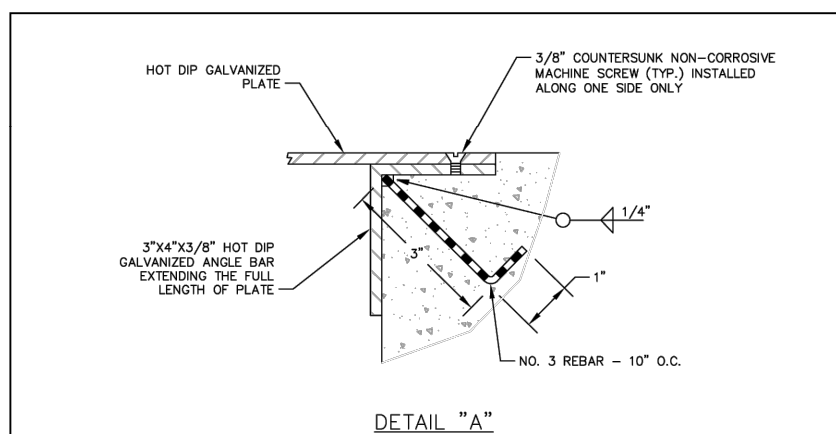
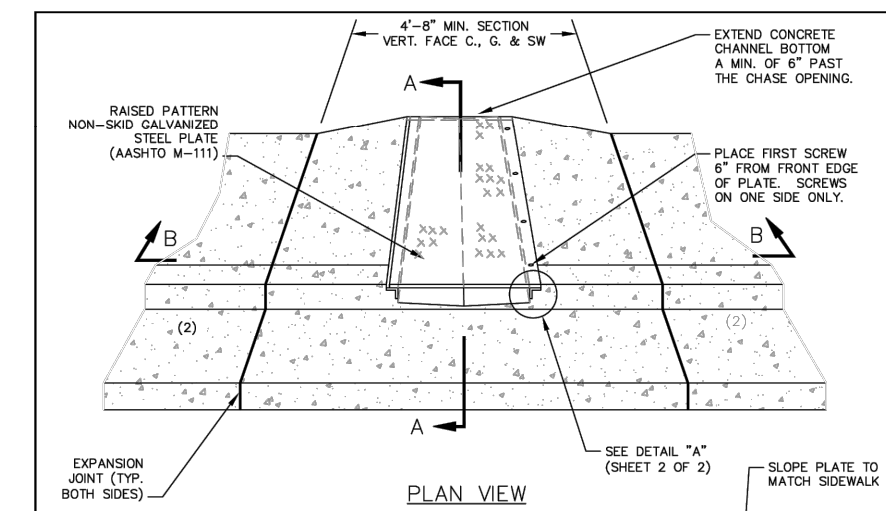


- NOTES:
1. DRIVE OVER CURB SHALL NOT BE USED ADJACENT TO TRAVEL LANE.
  2. DETACHED SIDEWALK WHEN USED WITH THIS SECTION SHALL BE 6\"/>

**DRIVE OVER CURB, GUTTER & SIDEWALK**  
 SHEET 2 OF 2  
 DETAIL NO. S-3A  
 DATE: DECEMBER, 2024  
 SCALE: N.T.S.

### S-5 | Sidewalk Chase for Attached Sidewalks

Design Criteria & Construction Specifications / Standard Details



| WIDTH OF OPENING | THEORICAL THICKNESS |
|------------------|---------------------|
| 12\"/>           |                     |
| 12\"/>           |                     |
| 24\"/>           |                     |

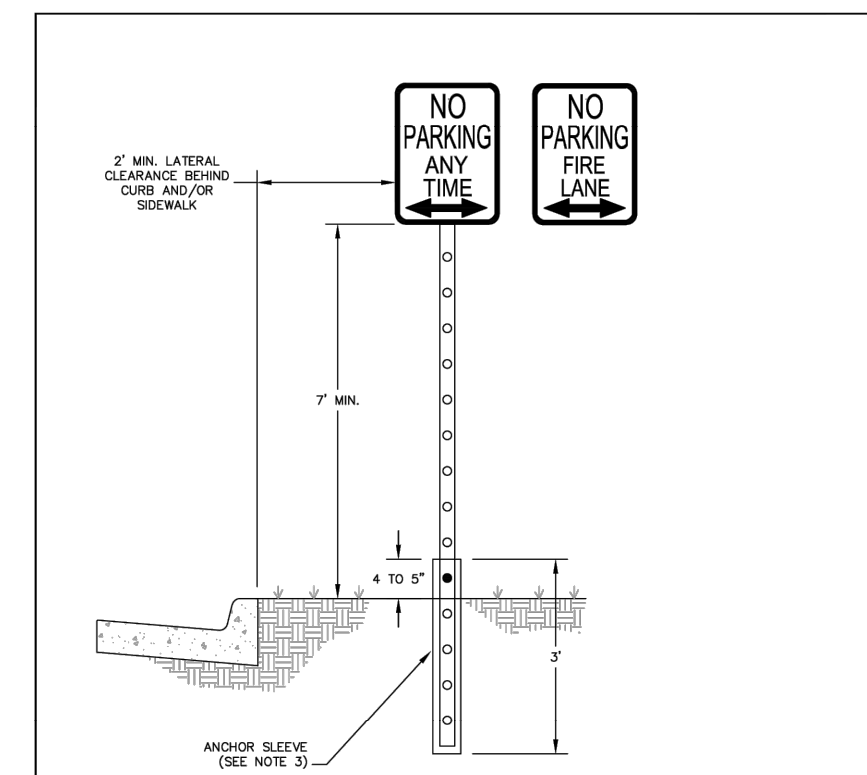
- NOTES:
1. COMPACTED SUBGRADE (SEE SPECIFICATIONS).
  2. FOR DRIVE OVER CURB, GUTTER AND SIDEWALK, TRANSITION (2\"/>

**SIDEWALK CHASE FOR ATTACHED SIDEWALK**  
 SHEET 1 OF 2  
 DETAIL NO. S-5  
 DATE: DECEMBER, 2024  
 SCALE: N.T.S.

**SIDEWALK CHASE FOR ATTACHED SIDEWALK**  
 SHEET 2 OF 2  
 DETAIL NO. S-5A  
 DATE: DECEMBER, 2024  
 SCALE: N.T.S.

### S-20 | Typical No Parking Sign Installation

Design Criteria & Construction Specifications / Standard Details

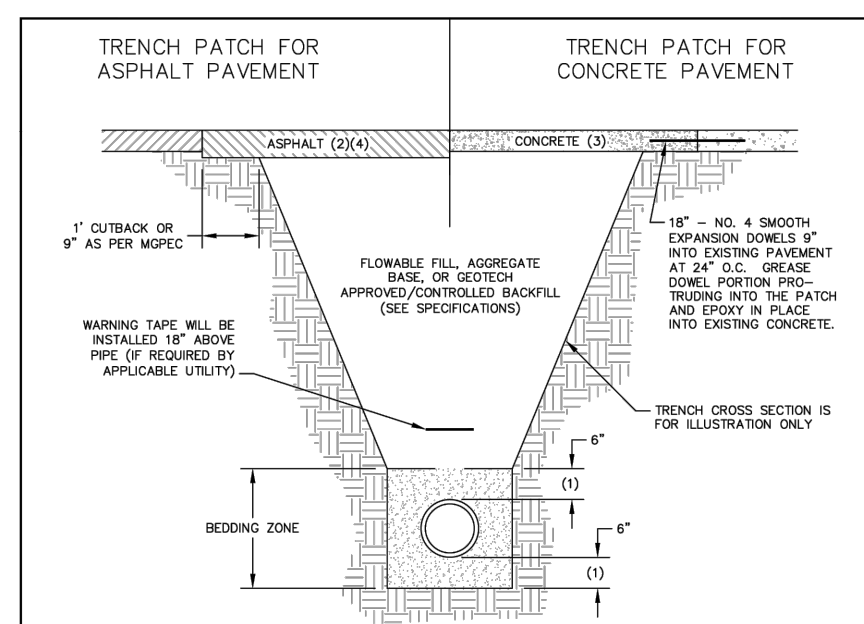


- NOTES:
1. ALL SIGN PANELS, POSTS, AND ANCHORS SHALL BE IN COMPLIANCE WITH GREELY SIGN STANDARDS.
  2. ALL SIGNS SHALL MEET CURRENT MUTCD STANDARDS.
  3. FOR POSTS SET IN CONCRETE, SHALL EITHER BE CORE DRILLED WITH A 4\"/>

**TYPICAL NO PARKING SIGN INSTALLATION**  
 DETAIL NO. S-20  
 DATE: DECEMBER, 2024  
 SCALE: N.T.S.

### S-11 | Existing Street Pavement Patch Detail for Asphalt & Concrete

Design Criteria & Construction Specifications / Standard Details



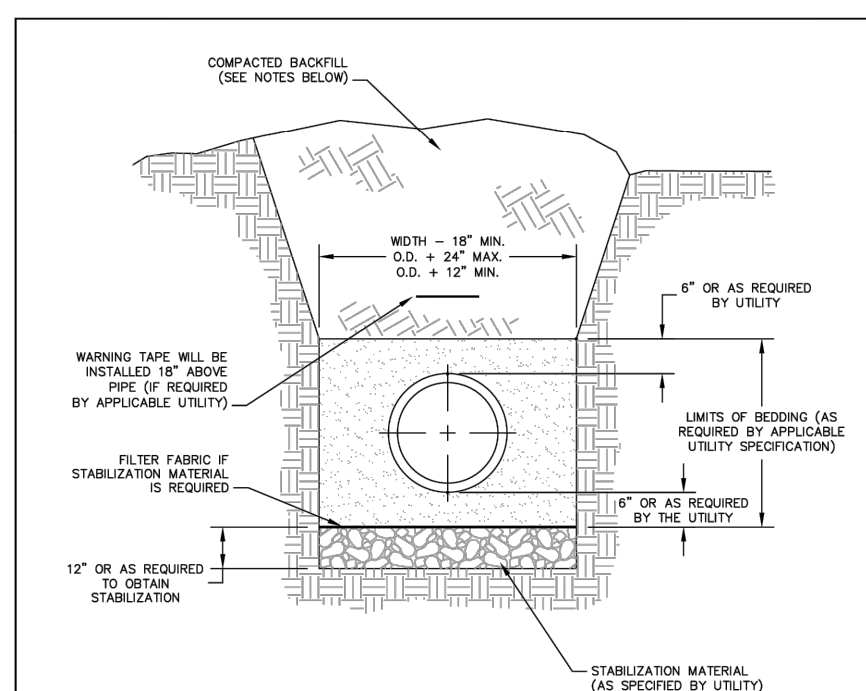
| LOCAL STANDARD OR LOCAL LAW VOLUME | LOCAL STANDARD |           |             | MAJOR LOCAL, COMMERCIAL & INDUSTRIAL |  |  |
|------------------------------------|----------------|-----------|-------------|--------------------------------------|--|--|
|                                    | ALLEY          | EMERGENCY | RESIDENTIAL | 7\"/>                                |  |  |
| FULL DEPTH ASPHALT (C)             | 1 1/2\"/>      |           |             |                                      |  |  |

- NOTES:
1. USE THE LIMITS OF BEDDING SHOWN IF NOT SPECIFIED BY THE APPLICABLE UTILITY.
  2. HOT MIX ASPHALT SHALL BE USED TO PATCH ASPHALT AND SHALL BE GRADE 5 OR BK. TRACK OAT REQUIRED.
  3. CONCRETE SHALL BE USED TO PATCH CONCRETE. MATCH EXISTING THICKNESS.
  4. FULL DEPTH ASPHALT SHALL BE THICKNESSES AS SHOWN ABOVE OR ONE (1) INCH GREATER THAN THE EXISTING PAVEMENT THICKNESS, WHICHEVER IS GREATER.
  5. PATCH MAY NOT FWD WITHIN THE WHEEL TRACKS OF TRAIL LANE. UP TO THREE (3) FEET OF ADDITIONAL ASPHALT PATCH WILL BE REQUIRED TO KEEP THE JOINT OUT OF THE WHEEL TRACK.
  6. MINIMUM SIZE OF PATCH SHALL BE 3' X 3'.

**EXISTING STREET PAVEMENT PATCH DETAIL FOR ASPHALT & CONCRETE**  
 DETAIL NO. S-11  
 DATE: DECEMBER, 2024  
 SCALE: N.T.S.

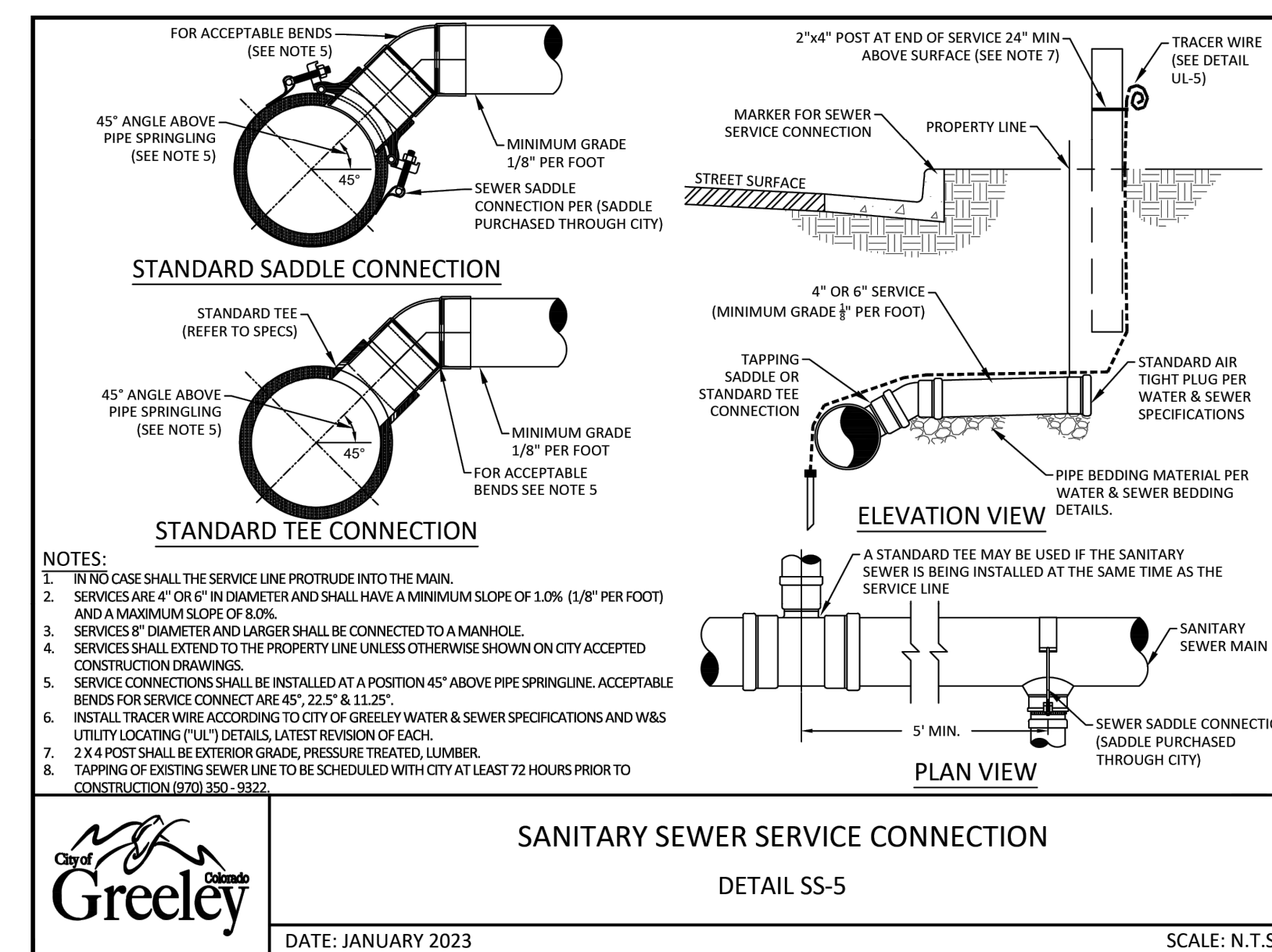
### S-10 | New Development Trench Excavation & Backfill Detail

Design Criteria & Construction Specifications / Standard Details



- NOTES:
1. RIGHT-OF-WAY AND EASEMENT AREAS SHALL BE GRADED (CUT AND FILL) TO SUBGRADE (+/-0.5) PRIOR TO AND AFTER UTILITY INSTALLATION.
  2. BACKFILL WITHIN PUBLIC RIGHT-OF-WAY AND IN EASEMENTS WITHIN 50 FEET OF RIGHT-OF-WAY SHALL BE COMPACTED TO 98% DENSITY. TRENCHES IN EASEMENTS BEYOND 50 FEET OF RIGHT-OF-WAY SHALL BE COMPACTED TO 90%. ALL TRENCHES SHALL BE COMPACTED BY A METHOD APPROVED BY THE CITY. SEE SPECIFICATIONS FOR MORE INFORMATION.
  3. TRENCH EXCAVATION SHALL COMPLY TO ALL OSHA STANDARDS.
  4. FILTER FABRIC IS REQUIRED IF STABILIZATION MATERIAL IS USED. THE FABRIC SHALL BE INSTALLED AS SHOWN IN THE DETAIL.
  5. IF NOT SPECIFIED BY APPLICABLE UTILITY, AN APPROVED GRADE OF SAND BEDDING SHALL BE INSTALLED TO SPRINGLINE.

**NEW DEVELOPMENT TRENCH EXCAVATION & BACKFILL DETAIL**  
 DETAIL NO. S-10  
 DATE: DECEMBER, 2024  
 SCALE: N.T.S.



**SANITARY SEWER SERVICE CONNECTION**  
 DETAIL SS-5  
 DATE: JANUARY 2023  
 SCALE: N.T.S.



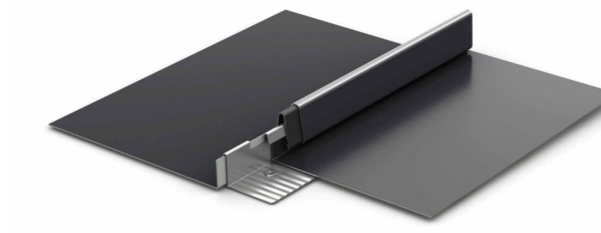




# PLATTE VALLEY VETERINARY

## SITE PLAN

LOT 5, BLOCK 1, SCOTCH PINE COMMERCIAL AT TIMBER RIDGE PUD  
 LOCATED IN THE NORTHEAST 1/4 OF SECTION 2, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
 TOWN OF SEVERANCE, COUNTY OF WELD, STATE OF COLORADO  
 EXISTING ADDRESS: 335 WEST 4TH AVENUE, SEVERANCE, CO



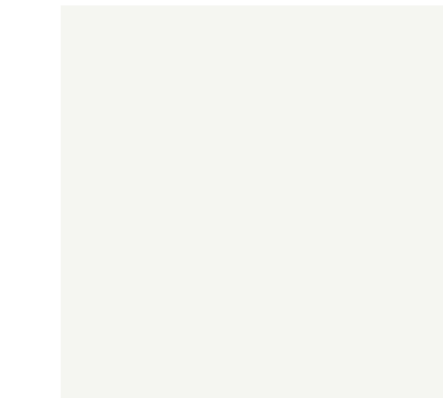
LOWER ROOF: BERRIDGE, TEE-PANEL STANDING SEAM ROOFING  
 COLOR: MATTE BLACK



UPPER ROOF: OWENS CORNING, OAKRIDGE SHINGLES  
 COLOR: ONYX BLACK



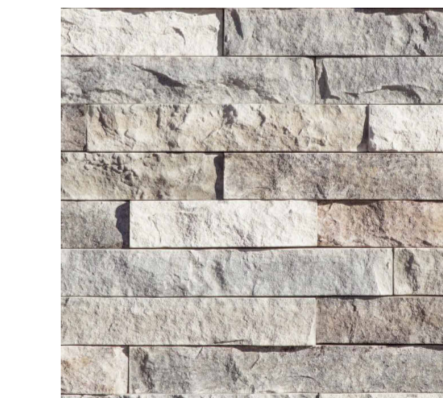
JAMES HARDIE, 5/16" TRIM BATTEN BOARDS  
 COLOR: ARCTIC WHITE



SHERWIN WILLIAMS  
 COLOR: EXTRA WHITE, SW 7006



SHERWIN WILLIAMS  
 COLOR: PEPPERCORN, SW 7674



ELDORADO STONE, LEDGECUT33  
 COLOR: WHITECAP



ELDORADO STONE, PEAKED STONE CAP  
 COLOR: SMOKE



ELDORADO STONE, WAINSCOT AND WINDOW LEDGE  
 COLOR: SMOKE

# PLATTE VALLEY VETERINARY

## SITE PLAN

TOWN OF SEVERANCE, COUNTY OF WELD, STATE OF COLORADO

25-017

**COPYRIGHT 2025**  
 THIS DOCUMENT IS AN INSTRUMENT OF SERVICE, AND AS SUCH REMAINS THE PROPERTY OF THE ENGINEER. PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN AGREEMENT WITH RAPTOR CIVIL ENGINEERING.

NOT FOR CONSTRUCTION

| REVISION BLOCK |            |     |
|----------------|------------|-----|
| #              | DATE       | BY  |
| 1              | 5/20/2025  | RCE |
| 2              | 10/28/2025 | RCE |

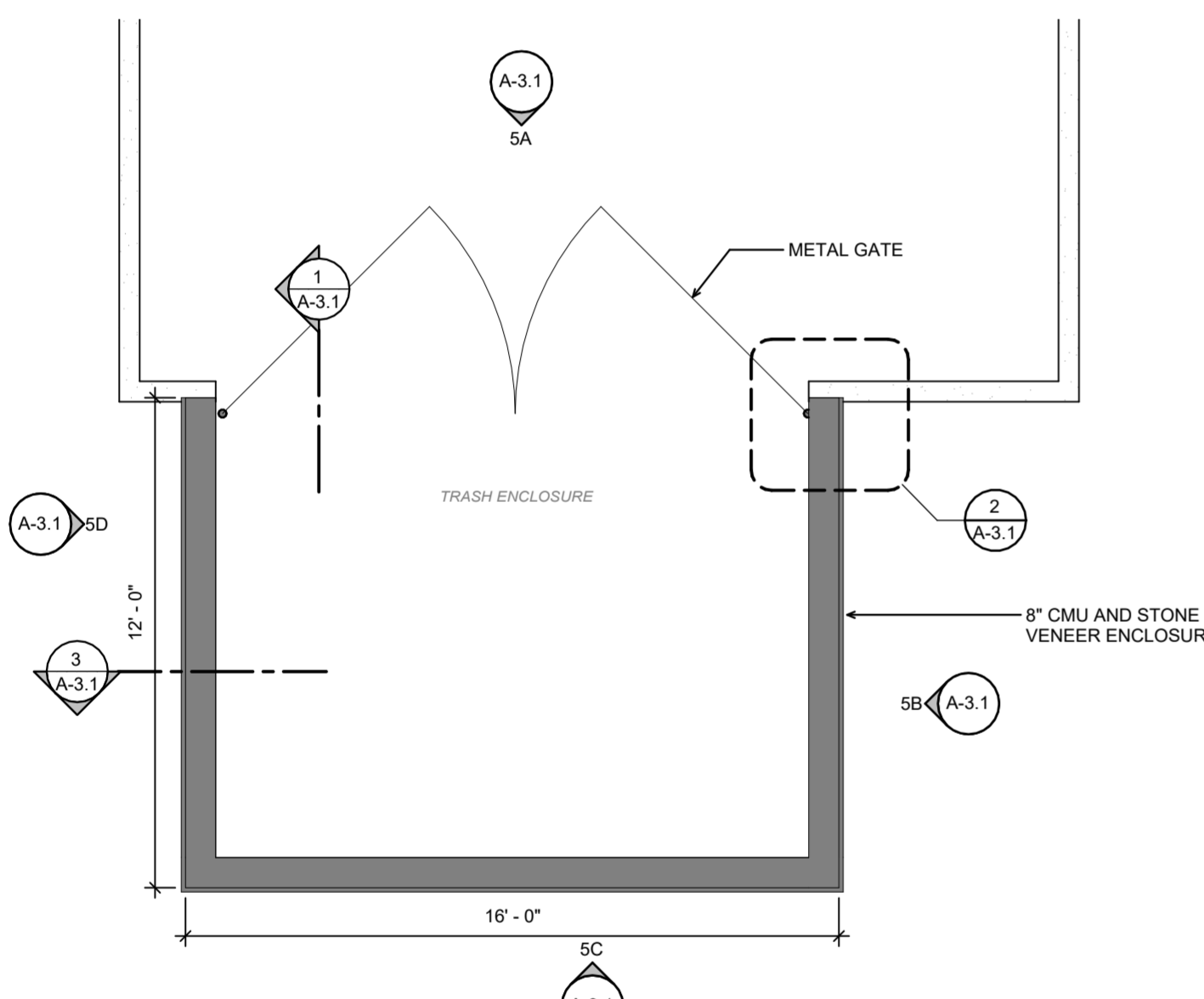
BUILDING ELEVATIONS,  
 TRASH ELEVATIONS  
 AND DETAILS

# A-3

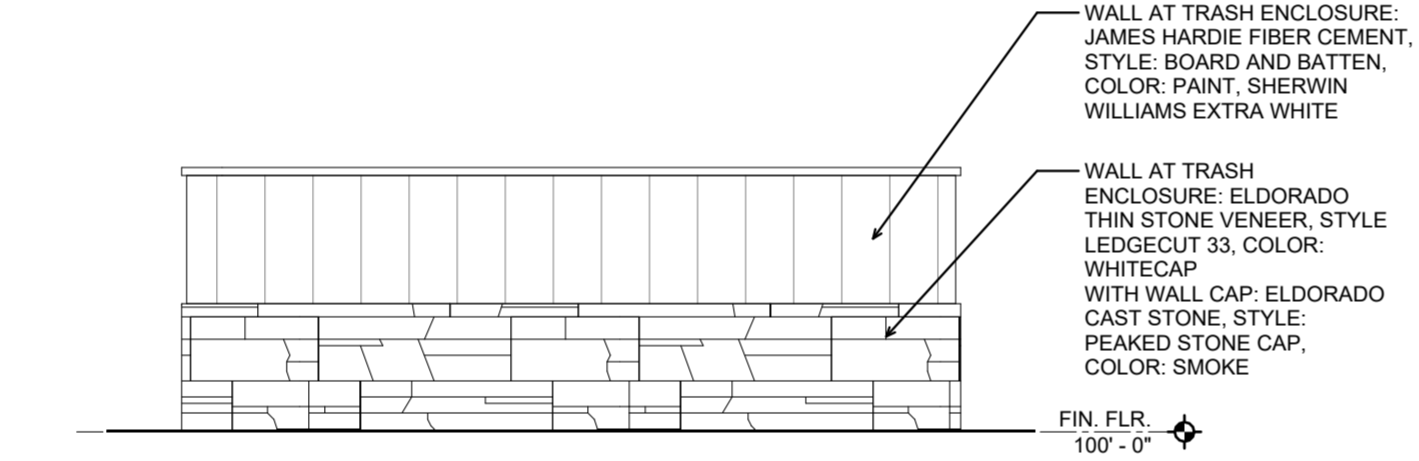
SHEET 13 OF 18



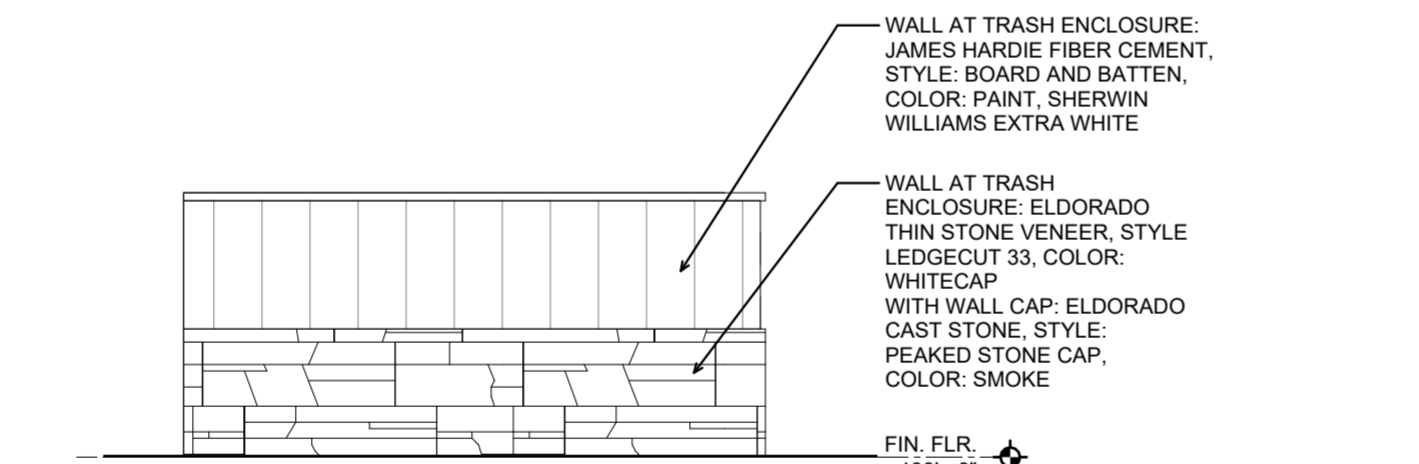
4 SOUTH ELEVATION  
 SCALE: 1/8" = 1'-0"



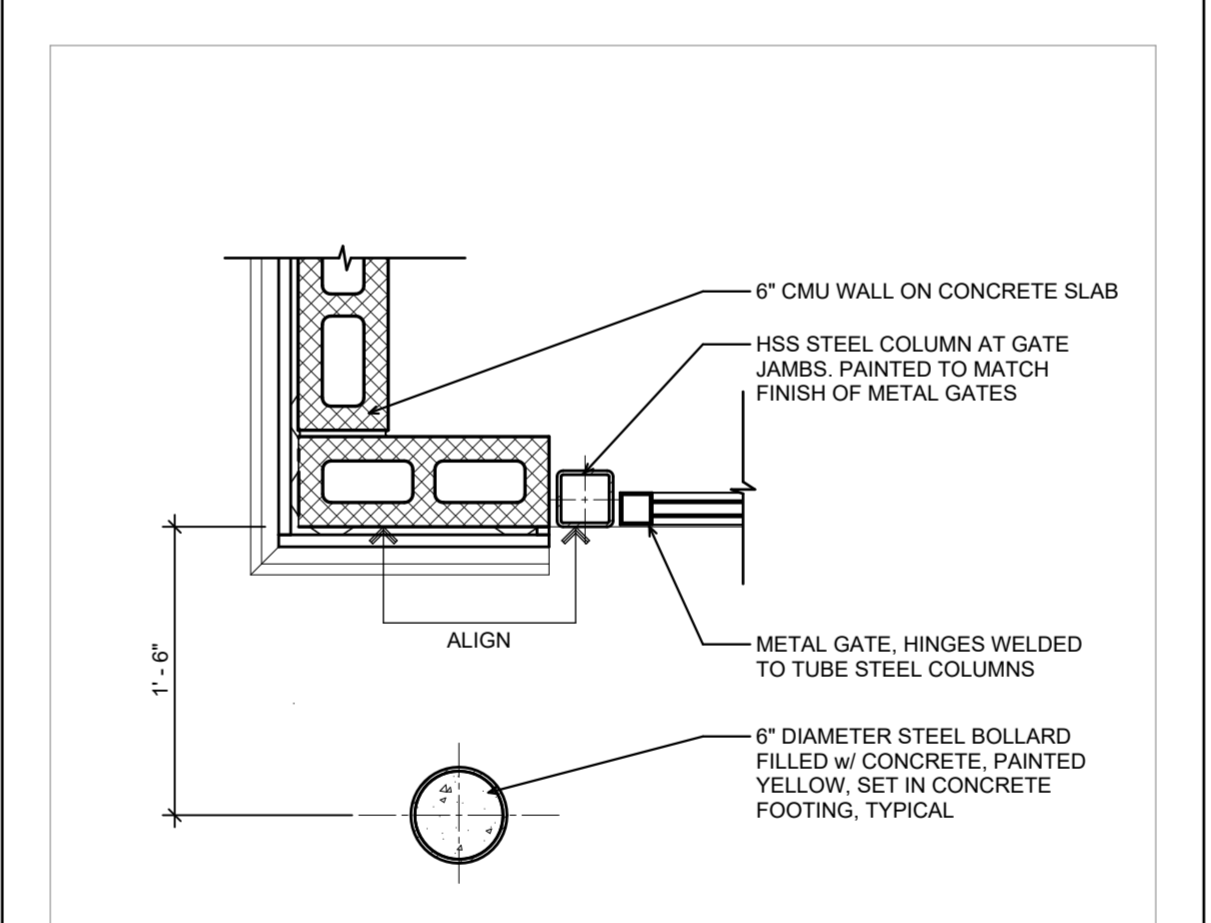
5 TRASH ENCLOSURE  
 SCALE: 1/4" = 1'-0"



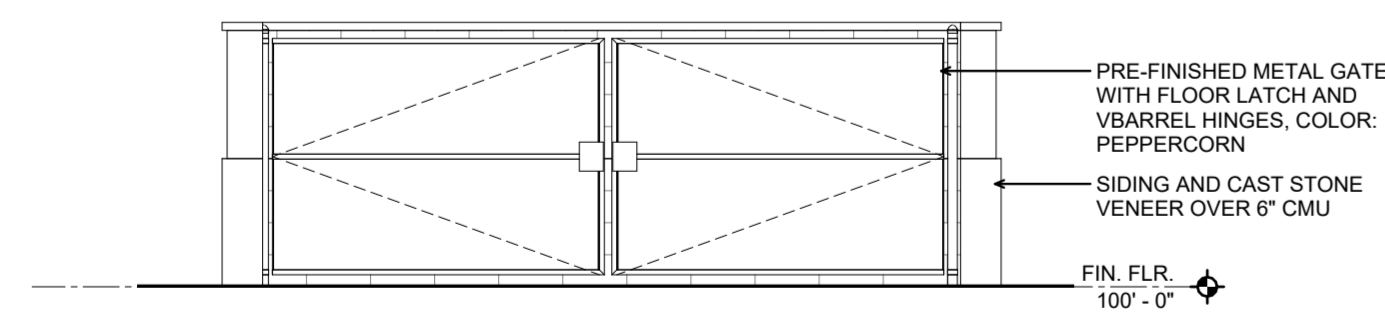
5C TRASH ENCLOSURE  
 SCALE: 1/4" = 1'-0"



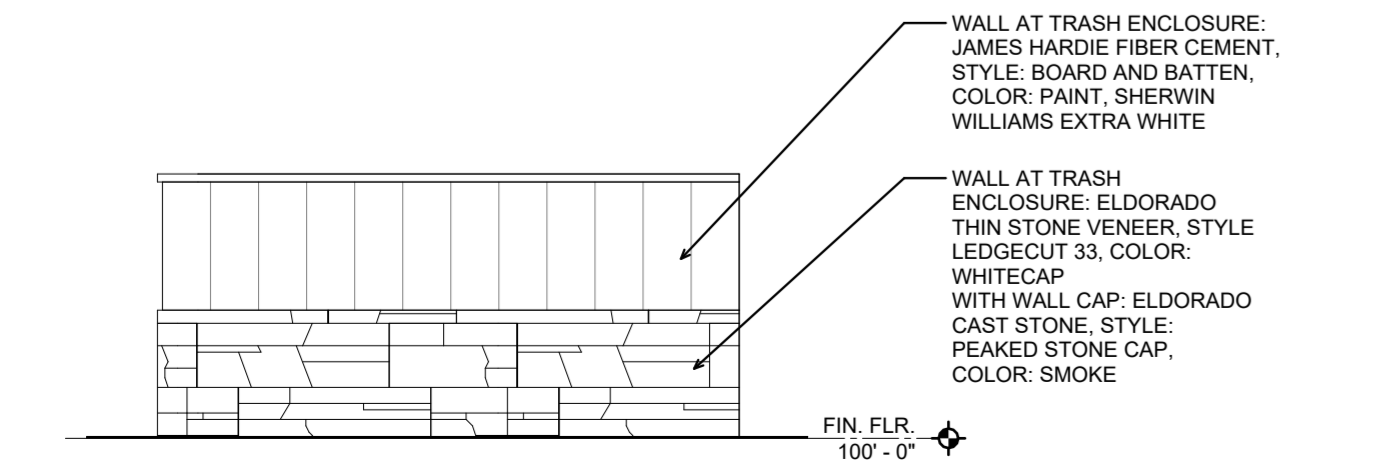
5D TRASH ENCLOSURE  
 SCALE: 1/4" = 1'-0"



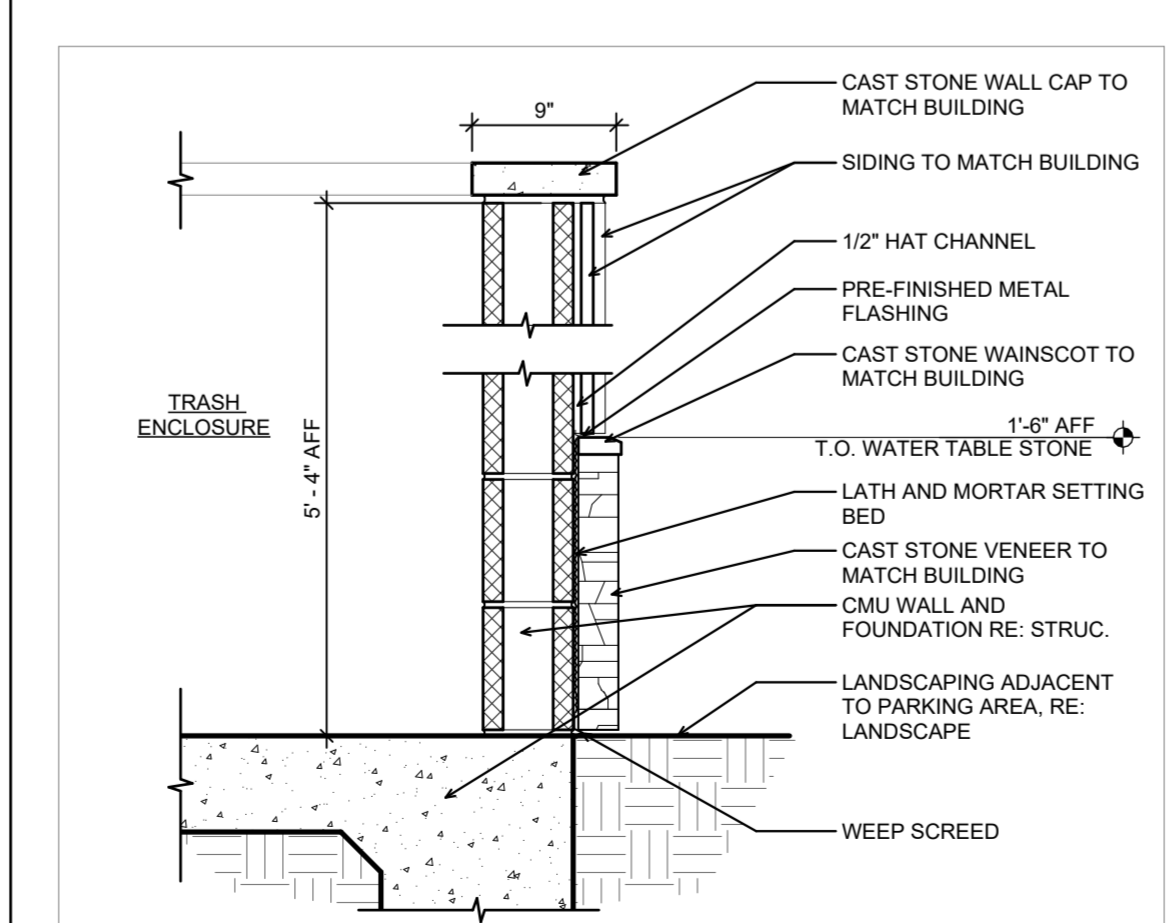
2 DUMPSTER ENCLOSURE - GATE JAMB  
 SCALE: 1" = 1'-0"



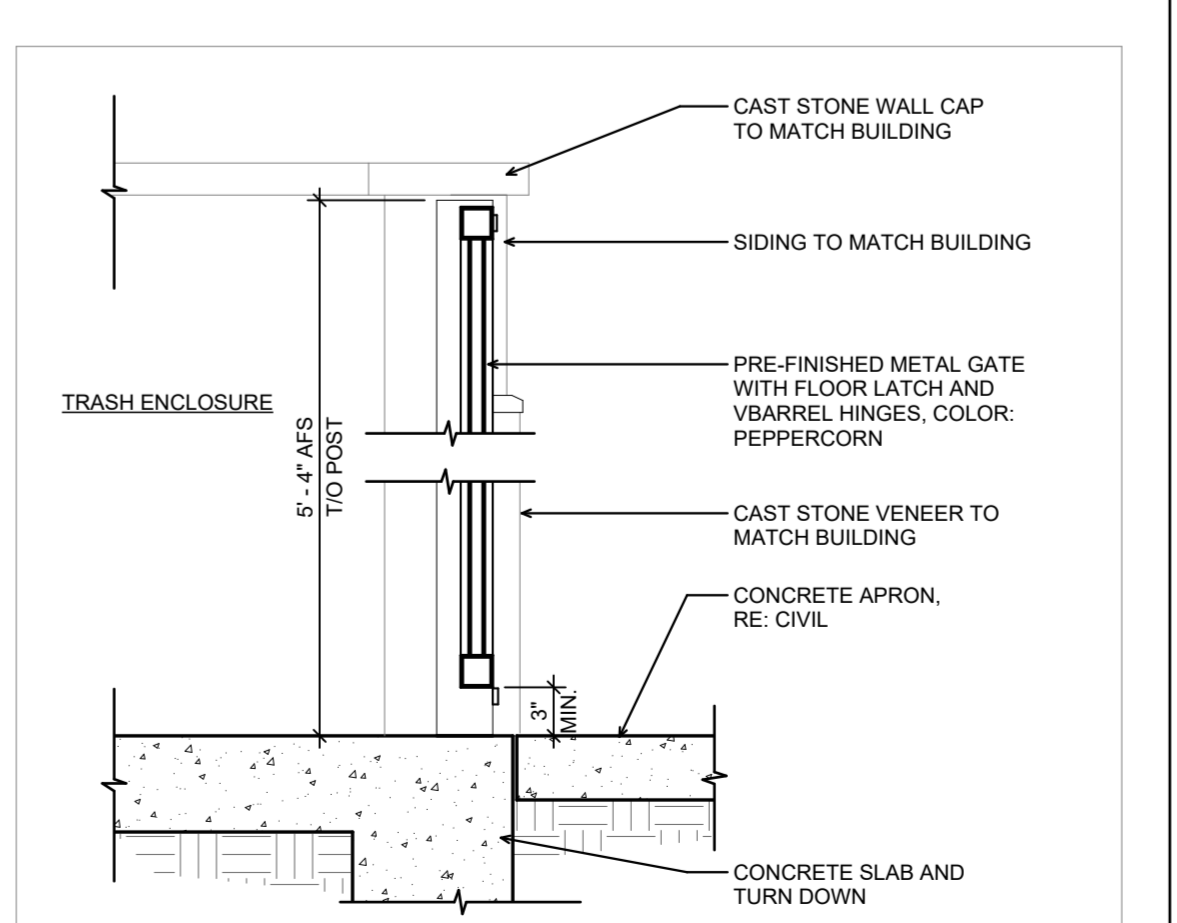
5A TRASH ENCLOSURE  
 SCALE: 1/4" = 1'-0"



5B TRASH ENCLOSURE  
 SCALE: 1/4" = 1'-0"



3 DUMPSTER ENCLOSURE - SECTION  
 SCALE: 1" = 1'-0"



1 DUMPSTER ENCLOSURE - MTL GATE SECTION  
 SCALE: 1" = 1'-0"



# PLATTE VALLEY VETERINARY SITE PLAN

LOT 5, BLOCK 1, SCOTCH PINE COMMERCIAL AT TIMBER RIDGE PUD  
LOCATED IN THE NORTHEAST 1/4 OF SECTION 2, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF SEVERANCE, COUNTY OF WELD, STATE OF COLORADO  
EXISTING ADDRESS: 335 WEST 4TH AVENUE, SEVERANCE, CO

## PLANTING LEGEND

| QTY | LEGEND | ABBREV. | BOTANIC NAME | COMMON NAME | PLANTING SIZE (MINIMUM) | MATURE SIZE (V,L,L,M,H) | WATER USE (V,L,L,M,H) | SUN/ SHADE |
|-----|--------|---------|--------------|-------------|-------------------------|-------------------------|-----------------------|------------|
|-----|--------|---------|--------------|-------------|-------------------------|-------------------------|-----------------------|------------|

### DECIDUOUS TREES

|   |      |  |  |                      |             |         |     |                |
|---|------|--|--|----------------------|-------------|---------|-----|----------------|
| 5 | ACGR |  | ACER GRANDIDENTATUM                      | BIGTOOTH MAPLE       | 2" CAL. B&B | 30'X30' | L/M | SUN/PART SHADE |
| 2 | GLTR |  | GLEDITSIA TRIACANTHOS INERMIS 'IMPERIAL' | IMPERIAL HONEYLOCUST | 2" CAL. B&B | 35'X25' | L   | SUN            |
| 3 | GYDI |  | GYMNOCALDUS DIOICUS 'ESPRESSO'           | ESPRESSO COFFEETREE  | 2" CAL. B&B | 50'X35' | L   | SUN            |

### EVERGREEN TREES

|   |      |  |                 |                |               |         |   |     |
|---|------|--|-----------------|----------------|---------------|---------|---|-----|
| 1 | PIPO |  | PINUS PONDEROSA | PONDEROSA PINE | 6' HEIGHT B&B | 40'X25' | L | SUN |
|---|------|--|-----------------|----------------|---------------|---------|---|-----|

### ORNAMENTAL TREES

|   |      |  |                  |                  |               |         |     |     |
|---|------|--|------------------|------------------|---------------|---------|-----|-----|
| 2 | PYCA |  | PYRUS CALLERYANA | CHANTICLEER PEAR | 1.5" CAL. B&B | 35'X15' | L/M | SUN |
|---|------|--|------------------|------------------|---------------|---------|-----|-----|

### DECIDUOUS SHRUBS

|    |      |  |                                   |                           |                 |         |     |                |
|----|------|--|-----------------------------------|---------------------------|-----------------|---------|-----|----------------|
| 24 | BUGV |  | BUXUS 'GREEN VELVET'              | GREEN VELVET BOXWOOD      | #5 CONT. 18-24" | 2'X2'   | M   | SUN/PART SHADE |
| 21 | CACL |  | CARYOPTERIS X CLANDONENSIS        | BLUE MIST SPIREA          | #5 CONT. 18-24" | 3'X3'   | VL  | SUN            |
| 6  | POFR |  | POTENTILLA FRUTICOSA 'GOLDFINGER' | GOLDFINGER POTENTILLA     | #5 CONT. 18-24" | 3'X3'   | L/M | SUN            |
| 8  | PRBE |  | PRUNUS BESSEYI 'PAWNEE BUTTES'    | PAWNEE BUTTES SAND CHERRY | #5 CONT. 18-24" | 18'X5'  | VL  | SUN            |
| 12 | RHAR |  | RHUS AROMATICA 'GROW-LOW'         | GRO-LOW FRAGRANT SUMAC    | #5 CONT. 18-24" | 2.5'X8' | L   | SUN            |

### EVERGREEN SHRUBS

|   |      |  |                               |                    |                 |       |    |                |
|---|------|--|-------------------------------|--------------------|-----------------|-------|----|----------------|
| 4 | ARCO |  | ARCTOSTAPHYLOS X COLORADENSIS | COLORADO MANZANITA | #5 CONT. 18-24" | 8'X4' | VL | SUN/PART SHADE |
| 4 | CYPU |  | CYTISUS PURGAN 'SPANISH GOLD' | SPANISH GOLD BROOM | #5 CONT. 18-24" | 4'X6' | VL | SUN/PART SHADE |

### SEED

|          |      |  |                               |      |  |  |   |  |
|----------|------|--|-------------------------------|------|--|--|---|--|
| 6,256 SF | SEED |  | HIGH PLAINS / FOOTHILLS GRASS | SEED |  |  | L |  |
|----------|------|--|-------------------------------|------|--|--|---|--|

### MULCH

|          |                    |  |  |       |  |  |     |  |
|----------|--------------------|--|--|-------|--|--|-----|--|
| 1,734 SF | ROCK COBBLE MULCH  |  | 4"-6" ROCK COBBLE MULCH WITH WOOD MULCH RING AROUND ALL PLANT MATERIAL. SEE PLANTING NOTES & DETAILS | MULCH |  |  | N/A |  |
| 3,604 SF | ANGULAR ROCK MULCH |  | 2"-3" ANGLED ROCK MULCH WITH WOOD MULCH RING AROUND ALL PLANT MATERIAL. SEE PLANTING NOTES & DETAILS | MULCH |  |  | N/A |  |
| 190 SF   | WOOD MULCH         |  | DARK BROWN SHREDDED HARDWOOD MULCH   | MULCH |  |  | N/A |  |

### EDGING

|        |                |  |  |        |  |  |     |  |
|--------|----------------|--|--|--------|--|--|-----|--|
| 160 LF | STEEL EDGING   |  | BLACK ROLLED TOP STEEL EDGING. SEE LANDSCAPE NOTES | EDGING |  |  | N/A |  |
| 130 LF | CONCRETE EDGER |  | 4" CONCRETE EDGER. SEE DETAIL 9, SHEET L2.         | EDGING |  |  | N/A |  |

### MISC.

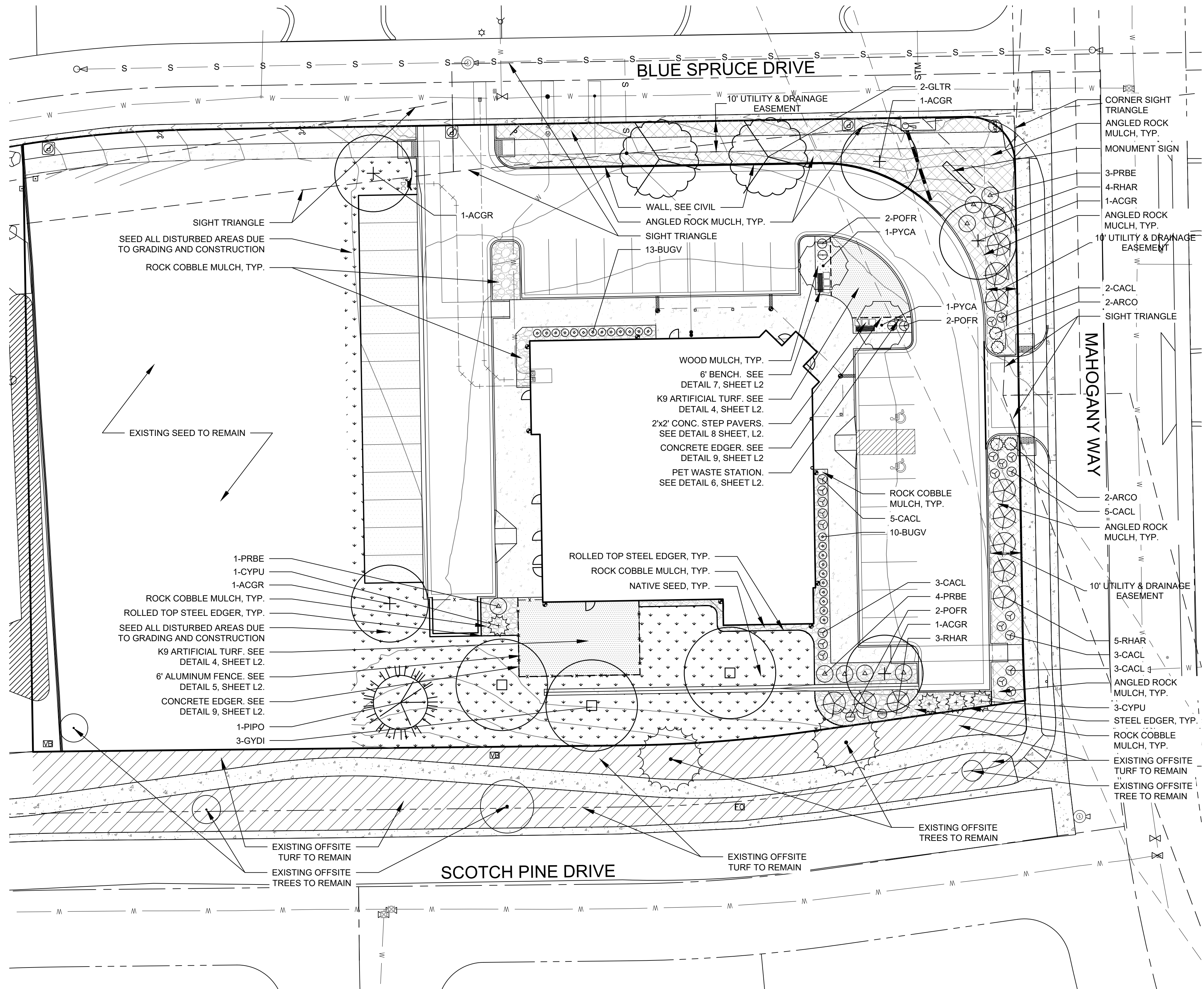
|          |                 |  |                    |     |  |  |     |  |
|----------|-----------------|--|--------------------|-----|--|--|-----|--|
| 1,425 LF | ARTIFICIAL TURF |  | K9 ARTIFICIAL TURF | N/A |  |  | N/A |  |
|----------|-----------------|--|--------------------|-----|--|--|-----|--|

## EXISTING TREE LEGEND

|  |  |  |  |
|--|--|--|--|
|  | DECIDUOUS TREES TO REMAIN<br>QUANTITY: 4     |  | EVERGREEN TREES TO REMAIN<br>QUANTITY: 2     |
|  | DECIDUOUS TREES TO BE REMOVED<br>QUANTITY: 0 |  | EVERGREEN TREES TO BE REMOVED<br>QUANTITY: 0 |

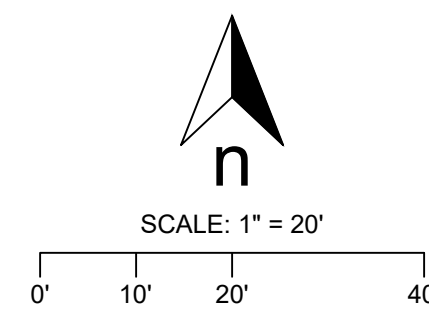
## SIGHT TRIANGLE NOTE

SIGHT DISTANCE TRIANGLES SHALL BE FREE FROM SHRUBS, GROUND COVERS, BERMS, FENCES, SIGNS, STRUCTURES, PARKED VEHICLES, OR OTHER MATERIALS. TREES WITHIN THE SIGHT DISTANCE EASEMENT (WHETHER IN THE PUBLIC RIGHT-OF-WAY OR ON PRIVATE PROPERTY) MUST NOT IMPAIR SIGHT DISTANCE.



## LANDSCAPE CODE CALCULATIONS

| DESCRIPTION                         | REQUIREMENT                                   | CALCULATION          | REQUIRED  | PROVIDED  |
|-------------------------------------|---|----------------------|-----------|-----------|
| OVERALL TREE REQUIREMENT            | 1 TREE PER 1,000 SF OF ON-SITE LANDSCAPE AREA | 11,784 SF / 1,000 SF | 12 TREES  | 13 TREES  |
| OVERALL SHRUB REQUIREMENT           | 1 SHRUB PER 150 SF OF ON-SITE LANDSCAPE AREA  | 11,784 SF / 150 SF   | 79 SHRUBS | 79 SHRUBS |
| BLUE SPRUCE STREETSCAPE REQUIREMENT | 1 TREE PER 35 LF OF STREET FRONTAGE           | 35 LF / 220 LF       | 7 TREES   | 4 TREES   |
| MAHOGANY STREETSCAPE REQUIREMENT    | 1 TREE PER 35 LF OF STREET FRONTAGE           | 35 LF / 200 LF       | 6 TREES   | 1 TREES   |



## CAUTION-NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



| REVISION BLOCK |            |     |
|----------------|------------|-----|
| #              | DATE       | BY  |
| 1              | 5/20/2025  | RCE |
| 2              | 10/28/2025 | RCE |

## LANDSCAPE PLAN

L1

# PLATTE VALLEY VETERINARY

## SITE PLAN

LOT 5, BLOCK 1, SCOTCH PINE COMMERCIAL AT TIMBER RIDGE PUD  
 LOCATED IN THE NORTHEAST 1/4 OF SECTION 2, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
 TOWN OF SEVERANCE, COUNTY OF WELD, STATE OF COLORADO  
 EXISTING ADDRESS: 335 WEST 4TH AVENUE, SEVERANCE, CO



### GENERAL LANDSCAPE NOTES AND SPECIFICATIONS

- CONTRACTOR NOTES**
- ALL WORK SHALL BE PERFORMED BY A QUALIFIED LANDSCAPE CONTRACTOR THAT HOLDS A VALID LICENSE ISSUED BY THE APPROPRIATE JURISDICTION.
  - ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARDS IN THE CONTRACTORS HANDBOOK PUBLISHED BY THE LANDSCAPE CONTRACTORS ASSOCIATION.
  - A LIST OF COMPLETED PROJECTS OF THIS TYPE, SIZE, AND NATURE MAY BE REQUESTED BY THE OWNER OR OWNERS REPRESENTATIVE FOR FURTHER QUALIFICATION MEASURES.
  - ALL WORK PERFORMED SHALL ADHERE TO ALL CURRENT SAFETY CODES AND STANDARDS, INCLUDING BUT NOT LIMITED TO OSHA.
  - THIS PLAN SHALL NOT BE USED FOR CONSTRUCTION OR PERMITTING UNLESS STATED FOR SUCH USE IN THE TITLE BLOCK.
  - THE LANDSCAPE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT FOR A PRE-CONSTRUCTION MEETING PRIOR TO CONSTRUCTION.
  - THIS PLAN IS INTENDED TO BE PRINTED ON THE CORRECT PAPER SIZE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ERRORS FROM INCORRECT PRINTING OR COPYING THAT ALTER THE SCALE OF THE PLAN.
  - VERIFY ALL PLAN DIMENSIONS PRIOR TO CONSTRUCTION. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTACT THE LANDSCAPE ARCHITECT TO CLARIFY ANY DIMENSION DISCREPANCIES.
  - THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AND TAKEOFFS. IN THE EVENT OF A DISCREPANCY, THE GRAPHIC QUANTITIES TAKE PRECEDENCE OVER WRITTEN QUANTITIES. BETWEEN THE LANDSCAPE PLAN AND THE LANDSCAPE LEGEND, THE PLANT QUANTITY ON THE PLAN SHALL TAKE PRECEDENCE.
  - CONTRACTOR SHALL MAKE HIMSELF AWARE OF AND VERIFY THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, FIBER OPTIC, CABLE, ETC.) PRIOR TO CONSTRUCTION. REFER TO ENGINEERING DOCUMENTS FOR ALL PROPOSED UTILITY LOCATIONS AND CALL 811 FOR ALL EXISTING UTILITY LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST TO REPAIR ANY DAMAGE TO THE UTILITIES AND RESPONSIBLE FOR ANY INJURY TO ANY PERSON. NOTIFY THE OWNER OR OWNER REPRESENTATIVE IF UTILITY LOCATIONS INTERFERE WITH THE ABILITY TO PERFORM THE WORK.
  - ALL WORK SHALL BE CONFINED TO THE AREA WITH THE CONSTRUCTION LIMITS AS SHOWN ON THE PLAN. AREAS DISTURBED OUTSIDE OF THE CONSTRUCTION LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR OR REPLACE ADJACENT OR

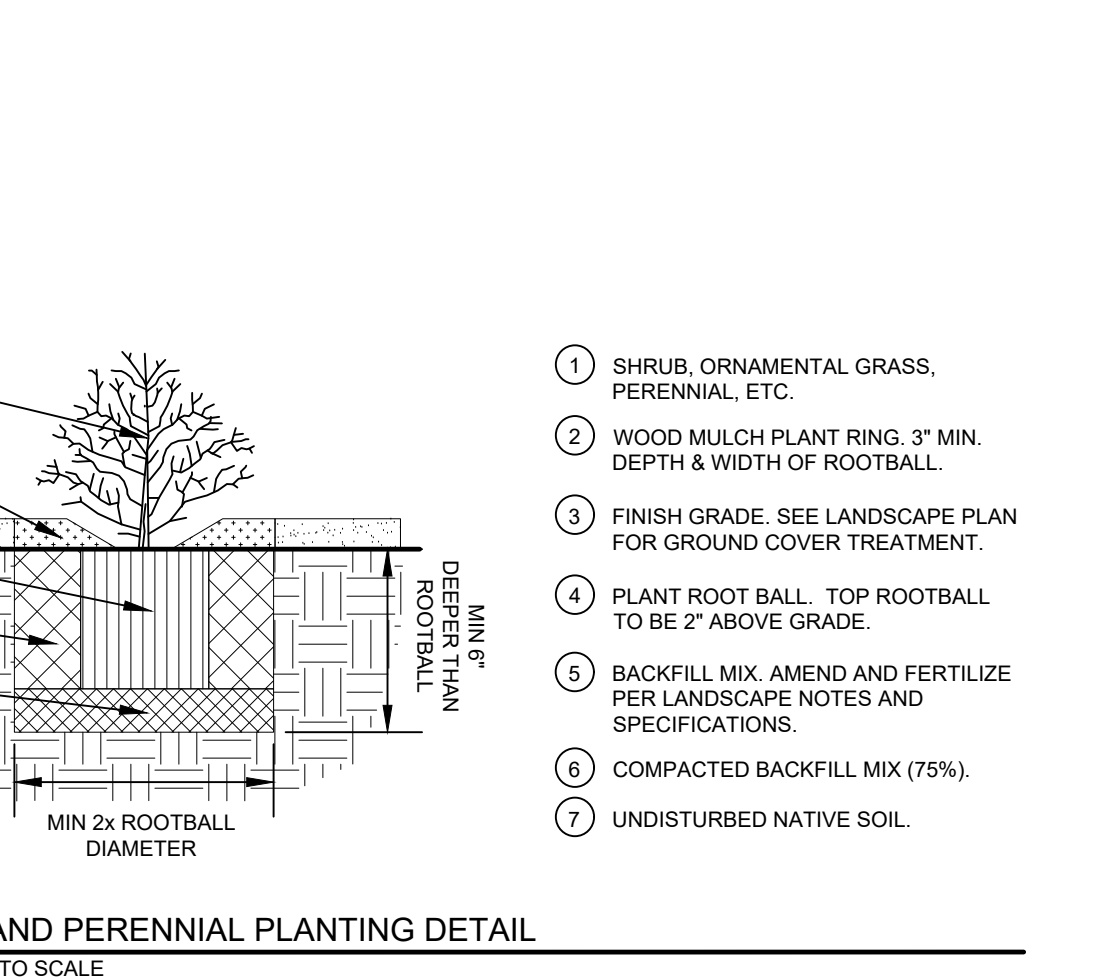
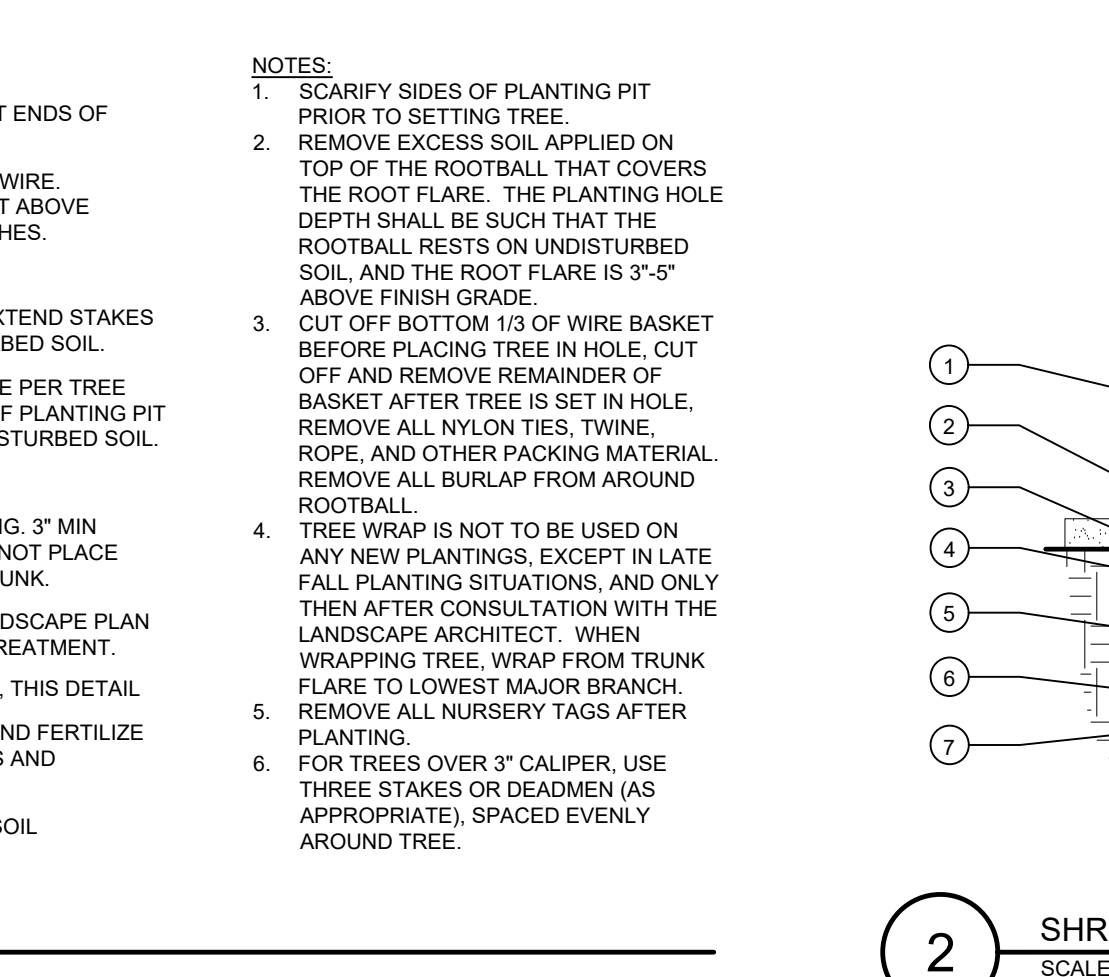
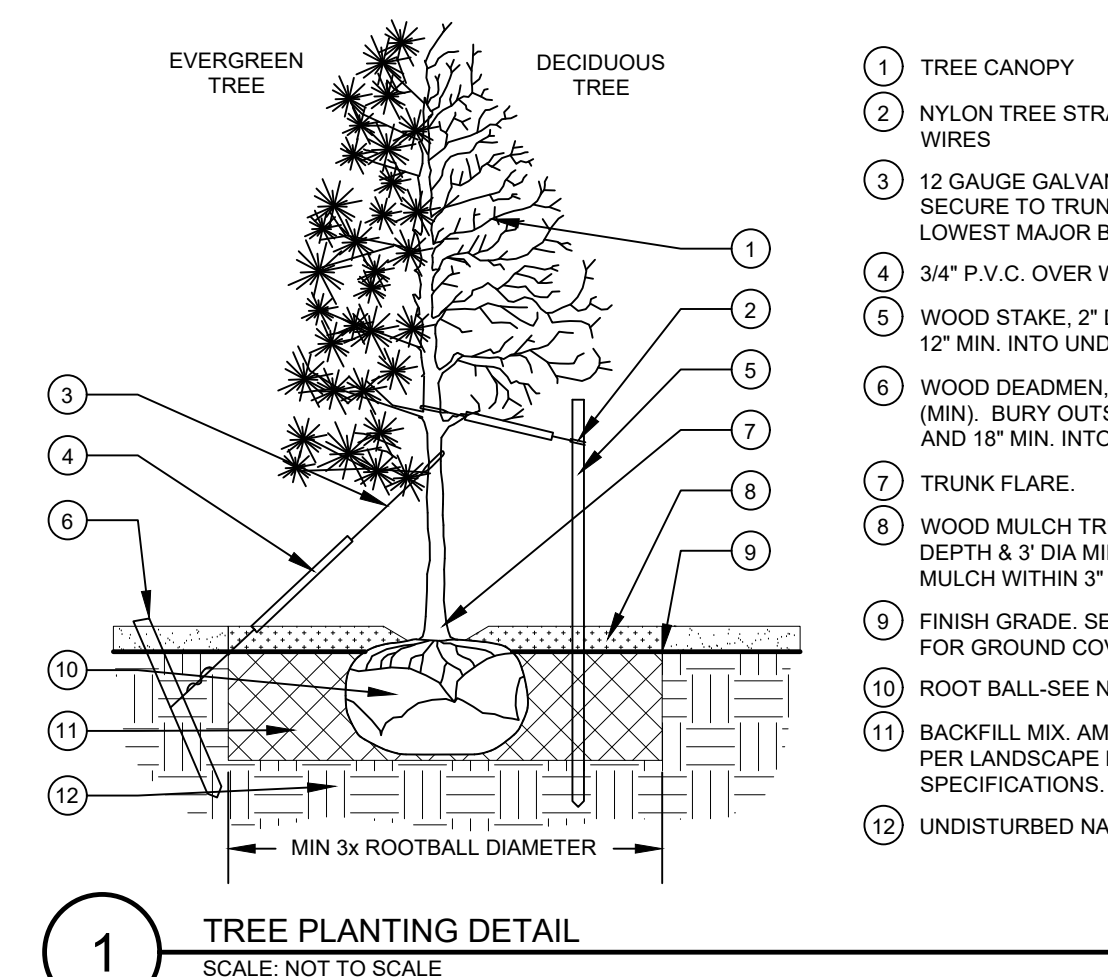
- EXISTING LANDSCAPE, PAVING, STRUCTURES AND/OR ANY PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTORS DURING CONSTRUCTION AND THE MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED BY THE CONTRACTOR TO PRE-CONSTRUCTION CONDITIONS DETERMINED BY THE OWNER OR OWNERS REPRESENTATIVE. LANDSCAPE SHALL BE REPLACED WITH THE SAME SPECIES, SIZE AND QUANTITY. REFER TO THE TREE PROTECTION PLAN AND NOTES IF APPLICABLE.**
- LANDSCAPE CONTRACTOR SHALL CONFIRM THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED, IS WITHIN CONTRACTUAL TOLERANCES. IF THE CONDITIONS ARE UNSATISFACTORY OR DIFFER FROM THE PLANS, THE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR AND OWNERS REPRESENTATIVE IN WRITING OF UNSATISFACTORY CONDITIONS. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THEN APPROVAL WILL NEED TO BE OBTAINED FROM THE CITY. THE CONTRACTOR SHALL NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
  - THE CONTRACTOR SHALL PREVENT SEDIMENT DUE TO EROSION, DEBRIS AND OTHER POLLUTANTS FROM EXITING THE SITE AND/OR ENTERING THE STORM SEWER SYSTEM DURING DEMOLITION OR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINE OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE ACTIONS DURING CONSTRUCTION.
  - THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL PAVING, TRASH, DEMOLITION DEBRIS, AND OTHER WASTE ITEM FROM THE SITE.
- SCOPE OF WORK**
- THE SCOPE OF WORK INCLUDES THE FURNISHING AND PAYMENT OF ALL LABOR, MATERIALS, SERVICES, EQUIPMENT, TOOLS, TRANSPORTATION, LICENSES, TAXES AND ANY OTHER ITEMS NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK SPECIFIED HEREIN AND/OR SHOWN ON THE LANDSCAPE PLANS, NOTES & DETAILS.
  - ALL WORK SHALL INCLUDE THE MAINTENANCE AND WATERING OF ALL PLANT MATERIAL AND AREAS UNTIL ACCEPTANCE BY THE OWNER OR THE OWNERS REPRESENTATIVE.
  - ALL WORK SHALL ADHERE TO ALL APPLICABLE STATE AND LOCAL LAWS, CODES, STANDARDS, AND SPECIFICATIONS. THIS INCLUDES ALL INSPECTIONS AND PERMITS REQUIRED FOR SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
- MATERIAL SUBMITTALS**
- THE CONTRACTOR SHALL PROVIDE SUBMITTALS TO THE LANDSCAPE ARCHITECT, AND RECEIVE WRITTEN APPROVAL PRIOR TO INSTALLATION.
  - SUBMITTALS SHALL INCLUDE PHOTOS WITH TAPE MEASURE OR RULER FOR SCALE, MANUFACTURE CUT SHEETS, AND LAB TEST RESULTS IF APPLICABLE.
  - FURNISH A NURSERY CERTIFICATION AND RECEIPT WITH THE PLANT SPECIES, SIZE AND QUANTITY AS PART OF THE MATERIAL SUBMITTALS.

- FINISH GRADING AND SOIL PREPARATION**
- CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES PURSUANT TO THE GEOTECHNICAL REPORT. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN AND ENSURE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT. AREAS OF POTENTIAL FLOODING SHALL BE REGRADED. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE.
  - ONCE FINISH GRADES ARE COMPLETE, IT IS RECOMMENDED THAT THE CONTRACTOR HAVE SOIL SAMPLES TESTED BY A SOIL TESTING LAB FOR: GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (EC), LIME, SODIUM ADSORPTION RATIO (SAR), AND BORON CONTENT. THE SOIL REPORT PRODUCED BY THE LAB SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING: GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
  - THE CONTRACTOR SHALL RECOMMEND INSTALLATION OF SOIL AMENDMENTS AND FERTILIZERS BASED ON THE SOILS REPORT FOR THE OWNERS REPRESENTATIVE'S REVIEW.
  - AT A MINIMUM, ALL TOPSOIL SHALL BE AMENDED WITH A WELL-COMPOSTED, WEED FREE, ORGANIC COMPOST AT 5.0 CUBIC YARDS PER 1,000 SF. COMPOST SHALL BE MECHANICALLY INTEGRATED INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
  - PRIOR TO PLANT INSTALLATION, AREAS THAT HAVE BEEN COMPACTED FROM CONSTRUCTION ACTIVITY SHALL BE LOOSENEED TO A DEPTH OF 12".
- GENERAL PLANTING**
- ALL PLANT MATERIAL SHALL BE TRUE TO SIZE, SPECIES, QUALITY, AND FREE OF DAMAGE, BROKEN ROOT BALLS, PESTS, AND DISEASES. ALL PLANT MATERIAL MUST CONFORM TO THE MINIMUM REQUIREMENTS DESCRIBED IN THE AMERICAN STANDARD FOR NURSERY STOCK.
  - ALL PLANTS WITHIN A PARTICULAR SPECIES SHALL HAVE SIMILAR SIZE AND FORM.
  - NO PLANT SUBSTITUTIONS SHALL BE MADE WITHOUT CONSENT FROM THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE.
  - THE OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT PLANT MATERIAL ON SITE IF THE MATERIAL IS DAMAGED, DISEASED, IN POOR HEALTH OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARDS IDENTIFIED IN THE PLANT LEGEND.
  - REMOVE ALL PLANT NURSERY TAGS UPON INSTALLATION.
  - A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS.

- TREE PLANTING**
- ALL DECIDUOUS TREES SHALL HAVE FULL, WELL-SHAPED HEADS. ALL EVERGREENS SHALL BE UNSHEARED AND FULLY BRANCHED TO THE GROUND. ANY TREES WITH DAMAGE TO THEIR CENTRAL LEADERS WILL NOT BE ACCEPTED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
  - TREE PLANTING HOLES SHALL BE EXCAVATED AT TWICE THE SIZE OF THE ROOTBALL IN WIDTH AND AT A DEPTH EQUAL TO THE ROOTBALL DEPTH MINUS 2".
  - ALL TREES SHALL BE INSTALLED PLUMB THEN STAKED AND GUYED PER DETAILS FOR A PERIOD OF 1 YEAR AFTER OWNERS REPRESENTATIVE ACCEPTANCE. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING STAKES AFTER THE 1 YEAR PERIOD.
  - ALL TREES LOCATED IN SOD OR SEED SHALL RECEIVE 4" WOOD MULCH RINGS.
  - ALL TREES PLANTED ADJACENT TO PUBLIC AND/OR PEDESTRIAN WALKWAYS SHALL BE PRUNED TO A HEIGHT OF 8' WHEN LOCATED OVER THE WALKWAY.
- SHRUB, PERENNIAL & GRASS PLANTING**
- SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED IN THE PLANT LEGEND.
  - ALL PLANT MATERIAL SHALL RECEIVE WOOD MULCH RINGS WITH THE WIDTH EQUAL TO THE CONTAINER SIZE AND 3" IN DEPTH.
- EDGER**
- ALL PLANT BEDS SHALL BE CONTAINED WITH STEEL EDGER. STEEL EDGER TO BE 4" x 3/16", ROLLED TOP, GREEN OR BLACK IN COLOR AND INSTALLED 1/2" ABOVE FINISHED GRADE. STEEL EDGER IS NOT REQUIRED ALONG WALKS, WALLS, CURBS OR BUILDING FOUNDATIONS. ALL EDGING PIECES SHALL OVERLAP A MINIMUM OF 6-INCHES, AND SHALL BE SECURED WITH A MINIMUM OF 3 RINGS PER EACH 10 FOOT SECTION. EDGER IS NOT REQUIRED TO SEPARATE DIFFERENT MULCH TYPES UNLESS OTHERWISE SPECIFIED ON THE PLAN.
- MULCH**
- AFTER PLANTING IS COMPLETE, THE CONTRACTOR SHALL INSTALL A 3" THICK MINIMUM LAYER OF MULCH AS SPECIFIED IN THE PLANT LEGEND. INSTALL A 3" THICK RING OF DOUBLE SHREDDED CEDAR MULCH AROUND ALL PLANT MATERIAL LOCATED IN ROCK MULCH. WOOD MULCH RING SHALL BE 4" IN DIA AROUND ALL TREES AND SHALL BE EQUAL TO THE CONTAINER SIZE OF SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES.
  - INSTALL GEOTEXTILE WEED BARRIER FABRIC UNDER ALL ROCK MULCH SHRUB BEDS. NO LANDSCAPE FABRIC SHALL BE USED IN WOOD MULCH AREAS. NO PLASTIC WEED BARRIERS SHALL BE SPECIFIED.

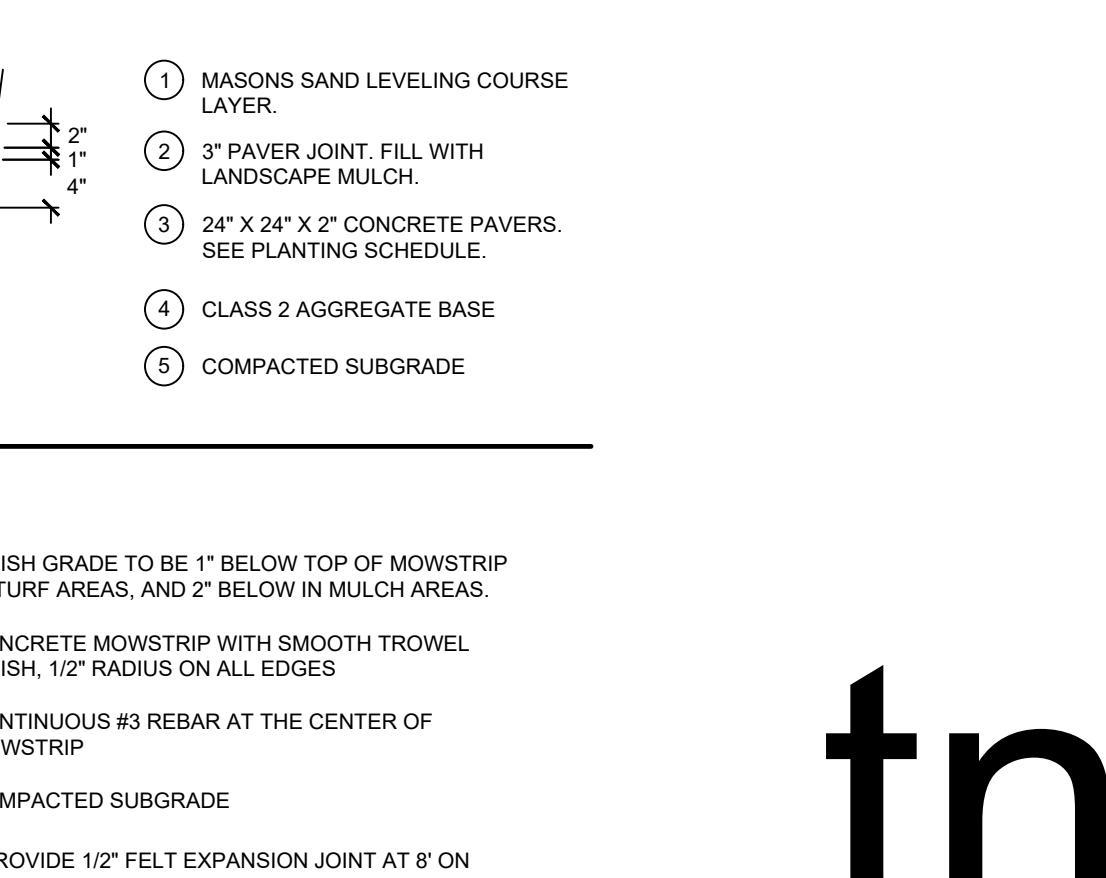
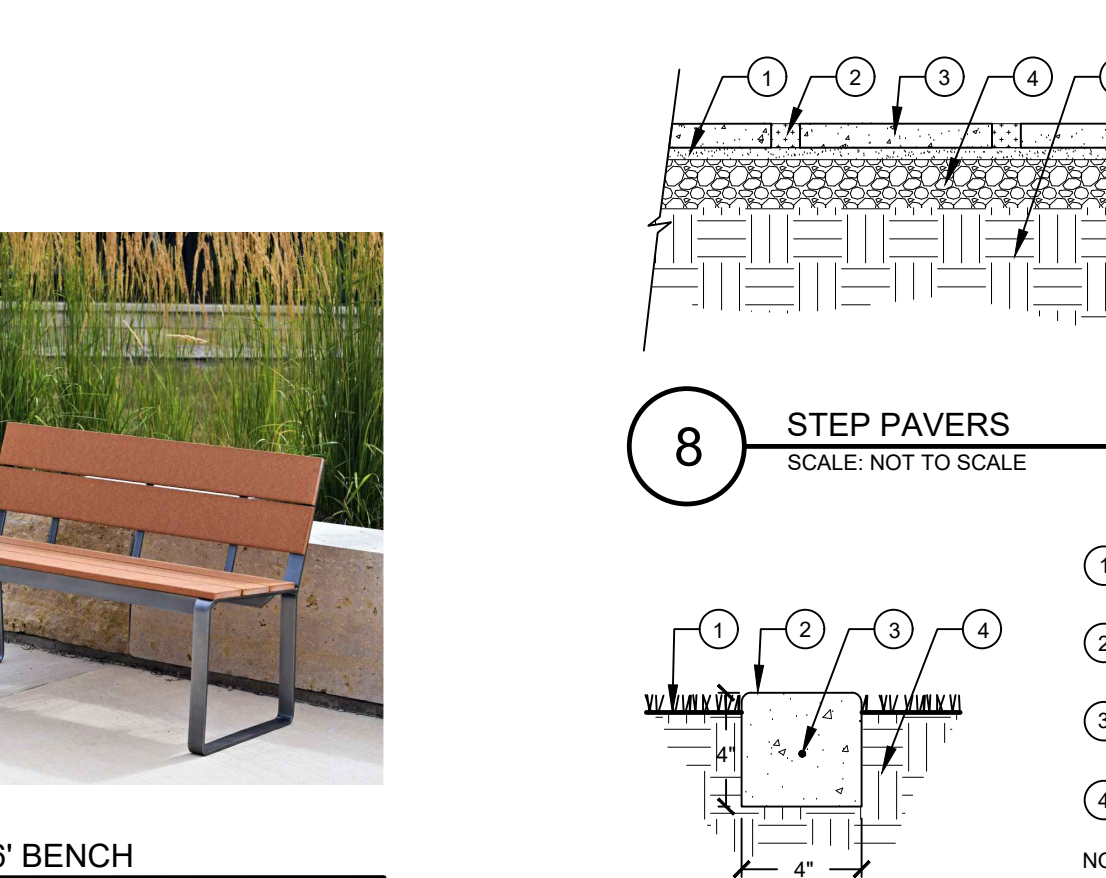
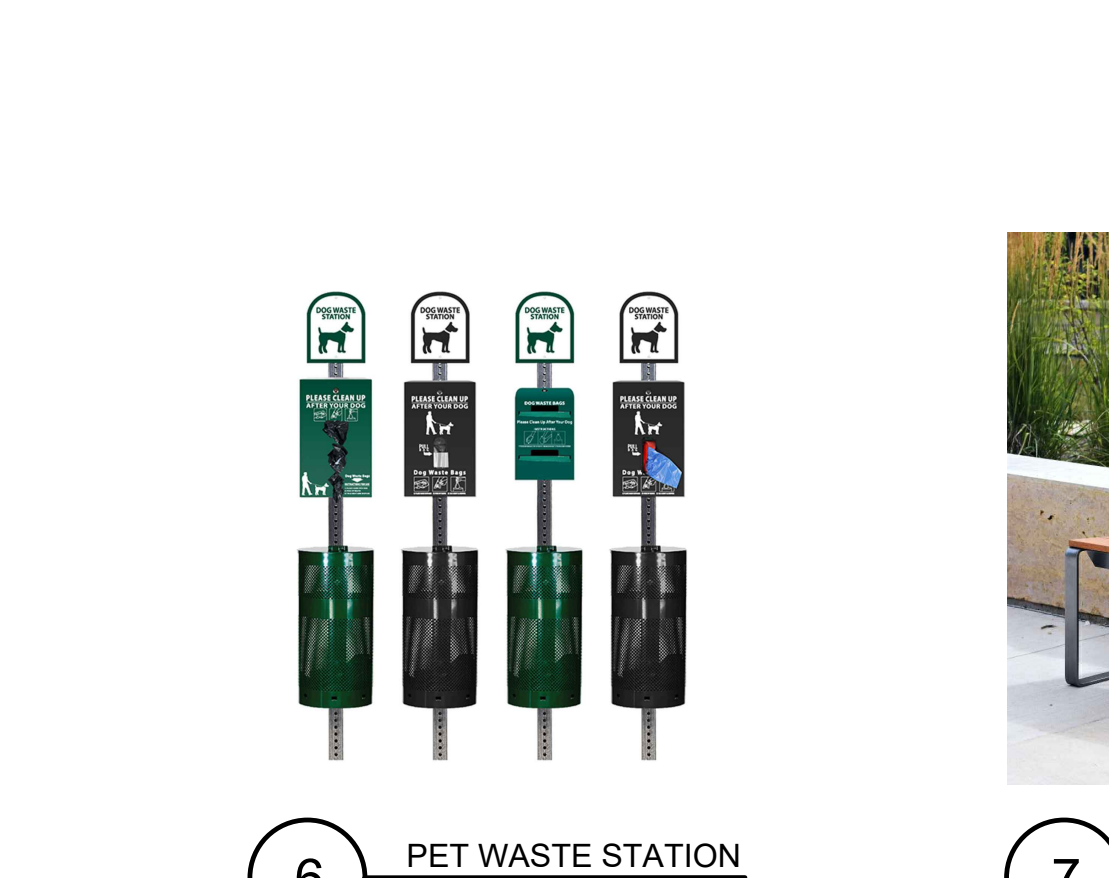
- SEED**
- SEED MIX SHALL MATCH SPECIFIC SEED AND APPLICATION RATE ON THE PLANS
  - ALL SEEDED SLOPES OVER 4:1 SHALL RECEIVE COCONUT FIBER EROSION CONTROL NETTING/BANKETS. INSTALL AND STAKE PER MANUFACTURER'S SPECIFICATIONS.
- IRRIGATION**
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL AT FINAL INSPECTION. THE IRRIGATION SYSTEM SHALL BE INSTALLED BY A QUALIFIED IRRIGATION CONTRACTOR.
  - THE IRRIGATION SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CROSS CONTAMINATION IF APPLICABLE.
  - ALL PLANTING BED AREAS WILL IRRIGATED BY POINT SOURCE AND/OR DRIPLINE IRRIGATION. TURF SOD AND SEEDED AREAS SHALL RECEIVE POP-UP SPRAY, ROTATOR, AND/OR ROTOR IRRIGATION WITH HEAD TO HEAD COVERAGE.
  - IRRIGATION VALVES WILL BE ZONED ACCORDING TO THE PLANT MATERIALS HYDROZONE AND WATER REQUIREMENTS.
  - THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED TO CONSERVE WATER BY UTILIZING SMART CONTROLLERS FLOW SENSORS, WEATHER SENSORS, SOIL MOISTURE SENSORS, MATCHED PRECIPITATION NOZZLES WHERE POSSIBLE AND POINT SOURCE DRIP IRRIGATION.
- MAINTENANCE**
- ALL TREES, SHRUBS, ORNAMENTAL GRASSES, PERENNIALS, SOD, AND SEED INCLUDED IN THIS SCOPE OF WORK SHALL BE MAINTAINED BY WATERING, PRUNING, SPRAYING AND ALL OTHER OPERATIONS NECESSARY TO MAINTAIN A HEALTHY PLANT CONDITION UNTIL ACCEPTANCE BY OWNERS REPRESENTATIVE.
- WARRANTY**
- THE LANDSCAPE CONTRACTOR SHALL WARRANTY ALL TREES, SHRUBS, ORNAMENTAL GRASSES, PERENNIALS, SOD, AND SEED FOR A PERIOD OF ONE YEAR COMMENCING AT THE TIME ACCEPTANCE BY THE OWNERS REPRESENTATIVE.
  - THE CONTRACTOR SHALL REMOVE AND REPLACE ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD, AT HIS OWN EXPENSE, AS SOON AS THE WEATHER CONDITIONS PERMIT. REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE SHOWN IN THE PLANT LEGEND.

- SEED NOTES**
- SEED MIXES ARE AVAILABLE THROUGH WESTERN NATIVE SEED.
  - ALL SEED APPLICATIONS SHALL BE DRILL SEEDING, WITH A HYDROSLURRY APPLIED AFTER DRILL SEED IS COMPLETE. SLURRY SHALL BE MIXED PER MANUFACTURE SPECIFICATIONS BASED ON SOIL CONDITIONS/TEST AND DEGREE OF SLOPE.
  - CONTRACTOR SHALL SEED ALL AREAS AS QUICKLY AS POSSIBLE AFTER GRADING IS COMPLETE. SOIL PREPARATION SHALL BE COMPLETED PRIOR TO SEEDING.
  - SEED SHALL BE INSTALLED WITH AT LEAST THREE MONTHS REMAINING IN THE GROWING SEASON. IF SEEDING TAKES PLACE WITH LESS THEN THREE MONTHS REMAINING IN THE GROWING SEASON, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND OWNER.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL CORRECTIVE MEASURES, AT HIS OWN COST, TO SATISFY ESTABLISHMENT REQUIREMENTS.
  - MAXIMUM HEIGHT FOR ALL NATIVE GRASS IS 8" AND SHALL BE MAINTAINED AS SUCH FOLLOWING ESTABLISHMENT.
- SEED MIX: HIGH PLAINS / FOOTHILLS GRASS  
 ELEVATION RANGE: 4,500 - 7,000  
 USE: FOR AREAS WITH 12-20 INCHES OF PRECIPITATION PER YEAR  
 RATE: 2 LBS PER 1,000 SF
- | COMMON NAME          | %   |
|----------------------|-----|
| BLUE GRAMA           | 25% |
| CANADA WILDRYE       | 10% |
| GREEN NEEDLEGRASS    | 10% |
| WESTERN WHEATGRASS   | 10% |
| LITTLE BLUESTEM      | 5%  |
| INDIAN RICEGRASS     | 5%  |
| BIG BLUESTEM         | 5%  |
| SIDE OATS GRAMA      | 5%  |
| SWITCHGRASS          | 5%  |
| BLUEBUNCH WHEATGRASS | 5%  |
| YELLOW INDIANGRASS   | 5%  |
| SAND DROPSPEED       | 5%  |



**K9Grass System**  
 Installed over soil with sodscape and landscape edges

ForeverLawn  
 888.922.7878 • info@foreverlawn.com  
 8037 Beeson St., Louisville, OH 45041  
 info@foreverlawn.com • 1.800.451.1148



**PLATTE VALLEY VETERINARY**  
 SITE PLAN  
 TOWN OF SEVERANCE, COUNTY OF WELD, STATE OF COLORADO

25-017

**COPYRIGHT 2025**  
 THIS DOCUMENT IS AN INSTRUMENT OF SERVICE, AND AS SUCH REMAINS THE PROPERTY OF THE ENGINEER. PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN AGREEMENT WITH RAPTOR CIVIL ENGINEERING.

| REVISION BLOCK |            |     |  |
|----------------|------------|-----|--|
| #              | DATE       | BY  |  |
| 1              | 5/20/2025  | RCE |  |
| 2              | 10/28/2025 | RCE |  |

**LANDSCAPE NOTES & DETAILS**  
**L2**

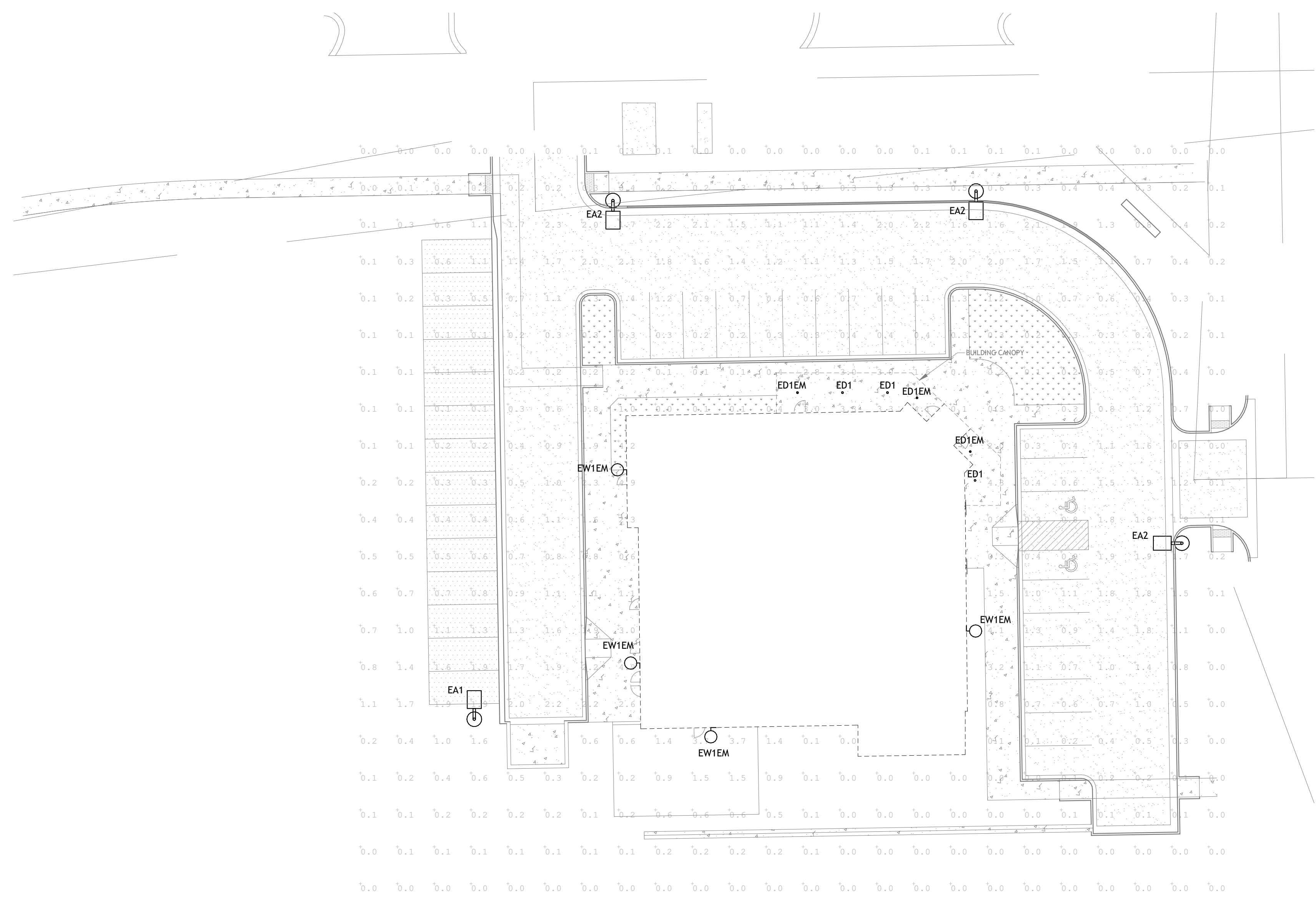
# PLATTE VALLEY VETERINARY

## SITE PLAN

OF LOT 5, BLOCK 1, SCOTCH PINE COMMERCIAL AT TIMBER RIDGE PUD  
 LOCATED IN THE NORTHEAST 1/4 OF SECTION 2, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
 CITY OF SEVERANCE, COUNTY OF WELD, STATE OF COLORADO

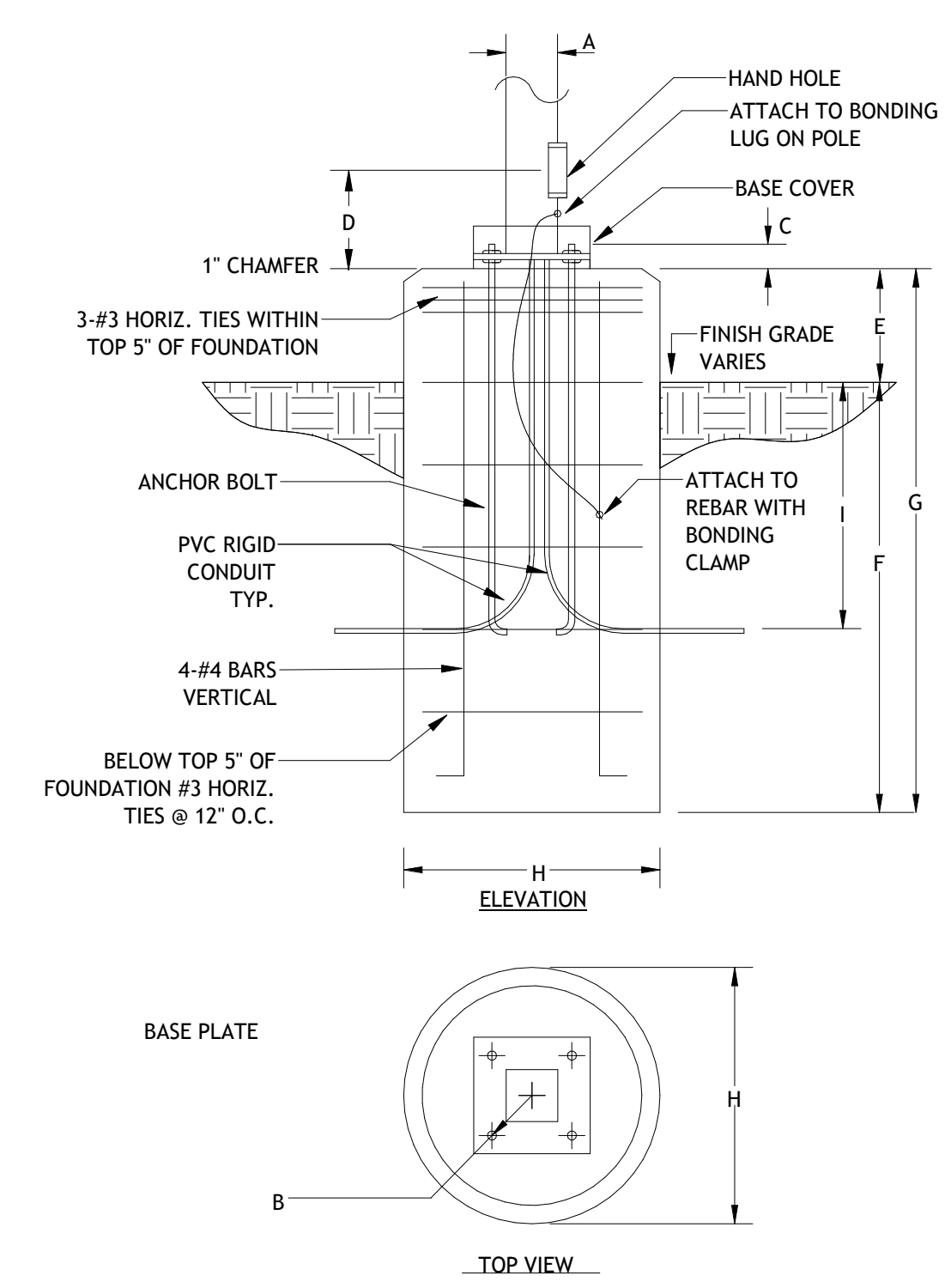


| Calculation Summary |             |       |      |     |     |
|---------------------|-------------|-------|------|-----|-----|
| Label               | CalcType    | Units | Avg  | Max | Min |
| SITE                | Illuminance | Fc    | 0.71 | 4.9 | 0.0 |
| PAVED PARKING LOT   | Illuminance | Fc    | 1.05 | 2.3 | 0.0 |
| WALKWAYS            | Illuminance | Fc    | 1.53 | 4.9 | 0.0 |



**SITE GENERAL NOTES**

A. UNDERGROUND SITE LIGHTING BRANCH CIRCUITS INCLUDING THE EQUIPMENT GROUNDING CONDUCTOR SHALL BE UPSIZED TO ACCOMMODATE VOLTAGE DROP PER NEC 250.122(B). RUN (2#10, & 1#10G)1" C FOR A 20A BRANCH CIRCUIT.



| POLE KEY | OVERALL HEIGHT | HEIGHT OF LUMINOUS SURFACE | A  | ANCHOR BOLT DATA (B) (SIZE) (C) (D) | E       | F       | G        | H   | I   |
|----------|----------------|----------------------------|----|-------------------------------------|---------|---------|----------|-----|-----|
| EA1      | 20' - 0"       | 20' - 0"                   | 3" | PER MANUFACTURER                    | 2' - 0" | 8' - 0" | 10' - 0" | 24" | 36" |
| EA2      | 20' - 0"       | 20' - 0"                   | 3" | PER MANUFACTURER                    | 2' - 0" | 8' - 0" | 10' - 0" | 24" | 36" |

**2 | POLE BASE DETAIL**  
 E1 | N.T.S.

**SITE SEQUENCE OF OPERATIONS**

THE FOLLOWING CONTROL SEQUENCE OF OPERATIONS ARE UTILIZED IN THIS PLAN. REFER TO PLAN AND/OR ZONE/RELAY SCHEDULE FOR SPECIFIC ASSOCIATED SEQUENCE.

ET1

**PLATTE VALLEY VETERINARY**  
 SITE PLAN  
 CITY OF SEVERANCE, COUNTY OF WELD, STATE OF COLORADO

25-017

**COPYRIGHT 2025**  
 THIS DOCUMENT IS AN INSTRUMENT OF SERVICE, AND AS SUCH REMAINS THE PROPERTY OF THE ENGINEER. PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN AGREEMENT WITH RAPTOR CIVIL ENGINEERING.

| REVISION BLOCK |            |     |
|----------------|------------|-----|
| #              | DATE       | BY  |
| 1              | 5/20/2025  | RCE |
| 2              | 10/28/2025 | RCE |

**1 | ELECTRICAL SITE PLAN**  
 E1 | 1" = 20'-0"

**ELECTRICAL SITE PLAN**

**E1**

SHEET 17 OF 18

# PLATTE VALLEY VETERINARY

## SITE PLAN

OF LOT 5, BLOCK 1, SCOTCH PINE COMMERCIAL AT TIMBER RIDGE PUD  
 LOCATED IN THE NORTHEAST 1/4 OF SECTION 2, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
 CITY OF SEVERANCE, COUNTY OF WELD, STATE OF COLORADO



**PLATTE VALLEY VETERINARY**  
 SITE PLAN  
 CITY OF SEVERANCE, COUNTY OF WELD, STATE OF COLORADO

25-017

**COPYRIGHT 2025**  
 THIS DOCUMENT IS AN INSTRUMENT OF SERVICE, AND AS SUCH REMAINS THE PROPERTY OF THE ENGINEER. PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN AGREEMENT WITH RAPTOR CIVIL ENGINEERING.

### LIGHTING FIXTURE SCHEDULE

| TYPE  | DESCRIPTION   | MANUFACTURER                       | CATALOG NUMBER  | VOLTAGE | LAMP QUAN. | LAMP WATTAGE | LAMP / CCT / CRI    | MAX WATTAGE | LUMEN OUTPUT | DIMMING CAPABILITY | FIXTURE FINISH | SUSTAINABILITY                        | MOUNTING         | BOF/RFD/OFH | NOTES |
|-------|---|------------------------------------|---|---------|------------|--------------|---------------------|-------------|--------------|--------------------|----------------|---------------------------------------|------------------|-------------|-------|
| EA1   | EXTERIOR POLE MOUNTED SINGLE LED AREA LIGHT, TYPE 2 OPTIC, 3' STRAIGHT SQUARE COMPOSITE POLE, 20'-0", HOUSE SIDE SHIELD | COOPER MCGRAW-EDISON POLE: VALMONT | HEAD: GALN-SA1C-730-U-T2-BK-DIM-LS /HSS POLE: SB24-D-50-3-HS-PC | 120 V   | 1          | 57 W         | LED / 3000K / 70CRI | 57 VA       | 7154 LM      | 0-10V              | BLACK          | DLC LISTED                            | IN GRADE POLE    | 20'-0" OFH  |       |
| EA2   | EXTERIOR POLE MOUNTED SINGLE LED AREA LIGHT, TYPE 4FT OPTIC, 3' STRAIGHT SQUARE COMPOSITE POLE, 20'-0"                  | COOPER MCGRAW-EDISON POLE: VALMONT | HEAD: GALN-SA1C-730-U-T4FT-BK-DIM-LS POLE: SB24-D-50-3-HS-PC    | 120 V   | 1          | 57 W         | LED / 3000K / 70CRI | 57 VA       | 7098 LM      | 0-10V              | BLACK          | DLC LISTED                            | IN GRADE POLE    | 20'-0" OFH  |       |
| ED1   | EXTERIOR 6" ROUND DOWNLIGHT   | COOPER HALO                        | HC6050010-HM60525830-61NDW -61WDWB                              | 120 V   | 1          | 6 W          | LED / 3000K / 80CRI | 6 VA        | 500 LM       | 0-10V TO 1%        | WHITE          | ENERGY STAR COMPLIANT, ROHS COMPLIANT | RECESSED CEILING | 4.5" RFD    |       |
| ED1EM | EXTERIOR 6" ROUND DOWNLIGHT, EMERGENCY BATTERY BACKUP   | COOPER HALO                        | HC6050010EM7-HM60525830-61NDW-61WDWB                            | 120 V   | 1          | 6 W          | LED / 3000K / 80CRI | 6 VA        | 500 LM       | 0-10V TO 1%        | WHITE          | ENERGY STAR COMPLIANT, ROHS COMPLIANT | RECESSED CEILING | 4.5" RFD    |       |
| EW1EM | WALL PACK WITH INTEGRAL BATTERY BACKUP  | COOPER LIGHTING INVUE              | ENV-SA1A-830-U-T4FT-BK-CBP                                      | 120 V   | 1          | 20 W         | LED / 3000K / 80CRI | 20 VA       | 2600 LM      | 0-10V              | BLACK          | DLC LISTED                            | SURFACE WALL     | 8' -0" BOF  |       |

### LIGHTING SEQUENCE OF OPERATION

| CONTROL SEQUENCE | ON  | OFF  | SENSOR TYPE | TIME OUT | DIMMING   | CONTROLLED RECEPTACLE | DAYLIGHT HARVESTING | TARGET ILLUMINANCE (FC) | NOTES |
|------------------|---|--|-------------|----------|-----------|-----------------------|---------------------|-------------------------|-------|
| ET1              | TIMELOCK AUTOMATIC ON 30 MINUTES PRIOR TO SUNSET AS DETERMINED BY ASTRONOMICAL CLOCK. | TIMELOCK AUTOMATIC OFF 30 MINUTES AFTER SUNRISE AS DETERMINED BY ASTRONOMICAL CLOCK. | NONE        | N/A      | SWITCHING | NO                    | NO                  | --                      |       |

|             |           |      |
|-------------|-----------|------|
| Project     | Catalog # | Type |
| Prepared by | Notes     | Date |

|             |           |      |
|-------------|-----------|------|
| Project     | Catalog # | Type |
| Prepared by | Notes     | Date |

|             |           |      |
|-------------|-----------|------|
| Project     | Catalog # | Type |
| Prepared by | Notes     | Date |

**McGraw-Edison**  
**GALN Galleon II**  
 Area / Site Luminaire

**Product Features**

- BAA
- TAA
- FADC
- Light Ahhhhh™

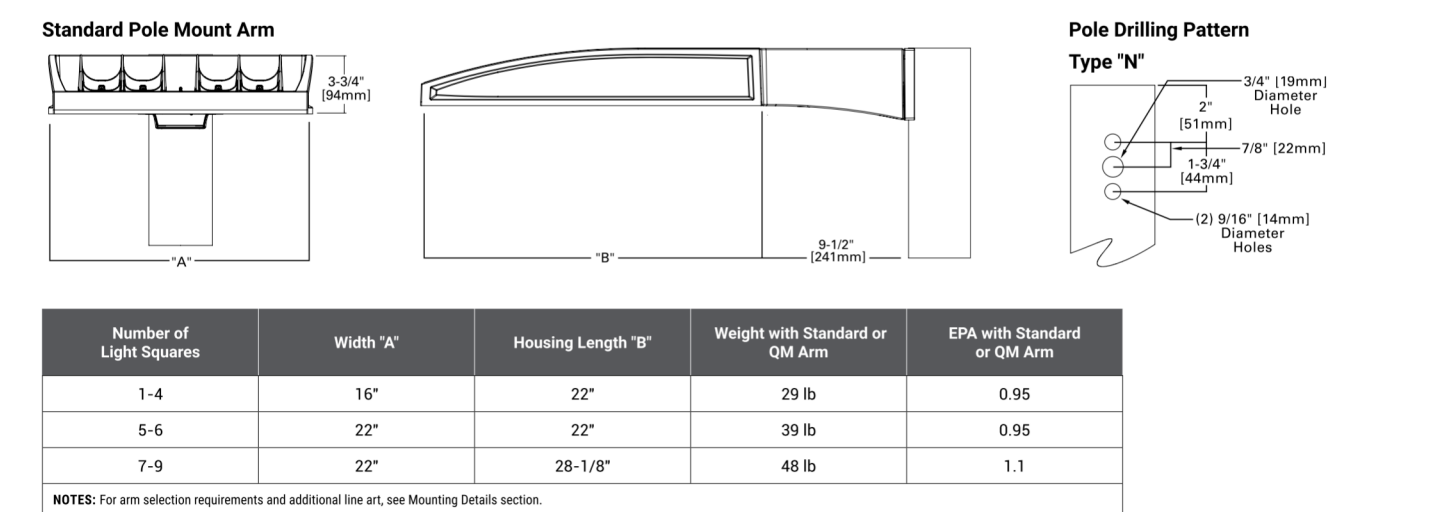
- Interactive Menu**
- Ordering Information page 2
  - Mounting Details page 3
  - Optical Distributions page 5
  - Product Specifications page 5
  - Energy and Performance Data page 6
  - Control Options page 13

- Product Certifications**
- ESL
  - DLC LISTED
  - DLC ULTIMATE
  - 3G VIB
  - IP66
  - 5YEAR

- Connected Systems**
- Wavelinx LITE Wireless
  - Wavelinx PRO Wireless
  - AirMesh Wireless

- Quick Facts**
- Lumen packages range from 3,300 - 102,700 (33W - 658W)
  - 17 optical distributions
  - Efficacy up to 178 LPW

**Dimensional Details**



PS505032EN page 1  
 April 4, 2025 3:04 PM

TYPE EA1, EA2

**Invue**  
**ENC/ENT/ENV Entri LED**  
 Architectural Wall Luminaire

**Product Features**

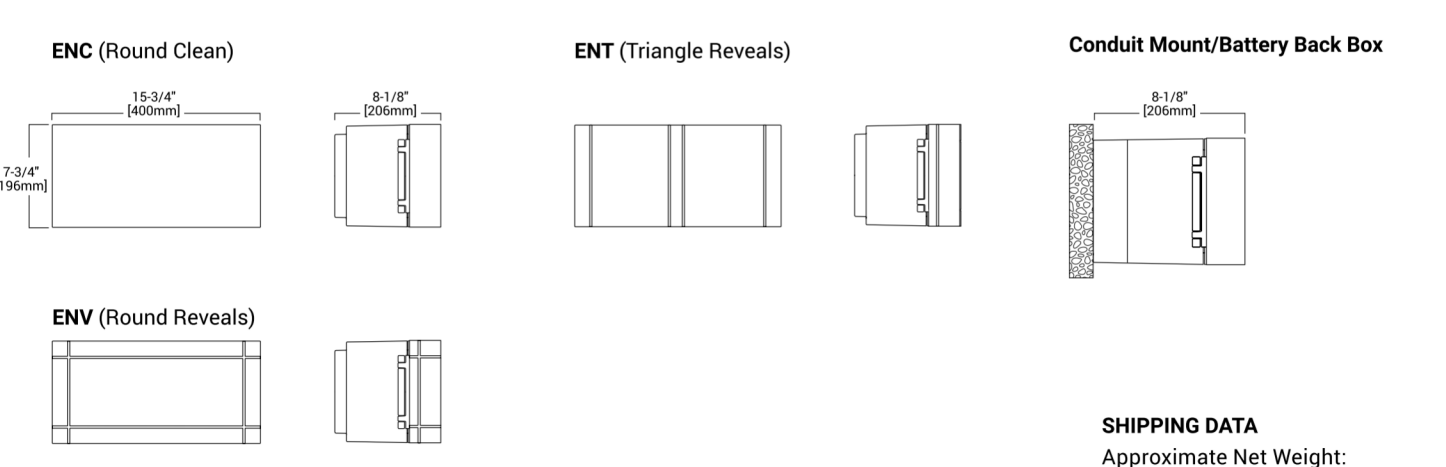
- BAA

- Interactive Menu**
- Order Information page 3
  - Product Specifications page 4
  - Control Options page 5
  - Optical Distributions page 2
  - Mounting Accessories page 7

- Product Certifications**
- IP66
  - YEAR
  - ESL
  - DLC LISTED
  - DLC ULTIMATE

- Quick Facts**
- Robust die-cast IP66 rated construction
  - Flush mounted die-cast latch for tool-less maintenance access
  - Mounts to a 4-inch junction box with concealed stainless steel fasteners
  - Choice of 9 AccuLED(TM) optical distributions
  - Optional uplight available with clear or colored lenses

**Dimensional and Mounting Details**



PS51686224 page 1  
 February 3, 2025 11:42 AM

TYPE EW1EM

**HALO Commercial**  
**HC6 | HM6 | 61 | 61PS**  
 6-inch LED downlight and wall wash

**Typical Applications**  
 Office • Healthcare • Hospitality • Institutional • Mixed Use/Retail

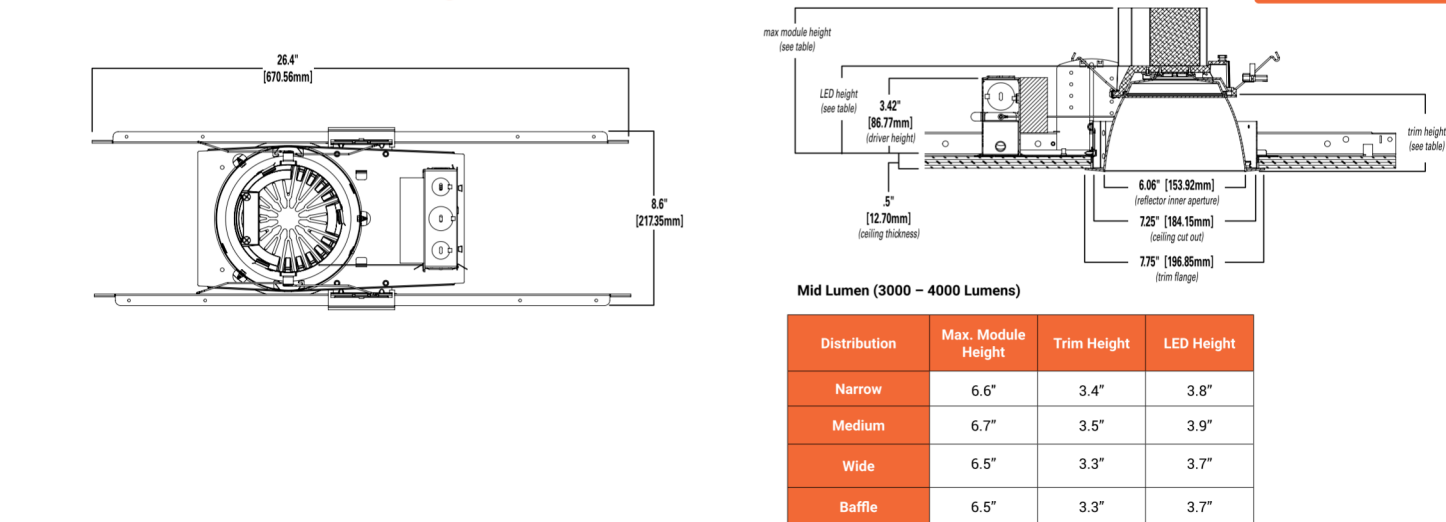
- Interactive Menu**
- Order Information page 2
  - Product Specifications page 4
  - Photometric Data page 5
  - Energy & Performance Data page 6
  - Connected Systems page 10
  - Product Warranty

- Product Certification**
- T24
  - FC
  - GREEN
  - IP66

- Product Features**
- Control Compatibility

- Top Product Features**
- New construction/remodel series; 500 to 6,000 lumens
  - Narrow, Medium and Wide distributions; Wall wash with rotatable linear spread lens
  - 2700K, 3000K, 3500K, 4000K, 5000K CCT; 80 or 90 CRI
  - Universal voltage 120V-277V; Standard 0-10V driver dims to 1%
  - Mounting frame converts to remodel that installs from below the ceiling
  - Quick Spec emergency backup mounting frames - fast delivery option

**Dimensional and Mounting Details**



PS517016EN page 1  
 November 1, 2024 10:38 PM

TYPE ED1, ED1EM

| REVISION BLOCK |            |     |
|----------------|------------|-----|
| #              | DATE       | BY  |
| 1              | 5/20/2025  | RCE |
| 2              | 10/28/2025 | RCE |

LIGHTING SCHEDULES

E2

SHEET 18 OF 18



**October 28th, 2025**

**TO:**

**Shani Porter – Planning Director**

Planning Department

City of Severance

3 South Timber Ridge Parkway

Severance, CO 80550

**LETTER OF INTENT - PLATTE VALLEY VETERINARY CLINIC - SITE PLAN**

---

Raptor Civil Engineering has prepared the following letter of intent for the proposed single-phase commercial development located at 335 West 4<sup>th</sup> Avenue, Severance, CO 80550. The subject property is vacant in existing conditions and is located on a 1.477 parcel of land within the Town of Severance's Town Core zoning district. The subject property is located on Lot 5, Block 1 of the Scotch Pine Commercial development within the Northeast Quarter of Section 2, Township 6 North, Range 67 West of the 6<sup>th</sup> Principal Meridian. The subject site is bordered by Blue Spruce Drive to the north, Mahogany Way to the east, Scotch Pine Drive to the south and a commercial development to the west. Raptor Civil Engineering shall be submitting the site plan submittal package on behalf of the owner/developer, Rolling Hills Properties LLC.

In developed conditions, the commercial development will serve as an office and clinic for Platte Valley Veterinary. The development proposes a two-story 7,856 square foot building, asphalt drive aisle, off-street parking, utility connections, and public improvements. The construction activities associated with this development will occur on the eastern side of the subject property. The western side of the site shall remain in current conditions and will not be disturbed with this development. The development proposes asphalt and gravel parking areas which provide a total of 34 off-street parking spaces (18 standard, 2 accessible, and 14 gravel overflow stalls). The proposed parking areas and drive aisle will be accessed from Blue Spruce Drive and Mahogany Way. The proposed public improvements include the installation of a five-foot wide sidewalk along Blue Spruce Drive.

The proposed commercial development requires a water service, a fire sprinkler service, a sanitary sewer service, and private storm infrastructure. The subject property resides within the Town of Severance Water District and the Windsor Severance Fire Rescue District. Domestic water service and fire sprinkler service shall be provided from the existing water main within the Blue Spruce Drive public right-of-way, which is served by the Town of Severance. An existing 3/4-inch domestic water tap shall be capped and discontinued. A new 1.5-inch water service line will be installed to serve the proposed building. The fire sprinkler system for the building will be served from a proposed 6-inch fire service line and tap. The proposed 6-inch sanitary service line connects to an existing sewer stub-in on the northern side of the property. Additionally, a stand along Fire Department Connection fixture will be installed in the northeast corner of the developed area onsite. Private onsite storm infrastructure is proposed to direct stormwater

8620 Wolff Ct, Suite 250  
Westminster, CO 80031  
720.774.7736  
www.raptor-civil.com



runoff to the public storm system. The municipal stormwater conveyance system ultimately discharges runoff into a regional detention facility.

Raptor Civil Engineering looks forward to presenting this site plan application to the Town of Severance. Please feel free to reach out if you have any questions.

Thank you,

A handwritten signature in black ink, appearing to read "Eric Burtzlaff".

**Eric Burtzlaff, PE**  
Principal  
Raptor Civil Engineering



## Town of Severance Review Comments

Date: July 16, 2025

Project Name/Contact: Platte Valley Veterinarian Clinic – Site Plan

Project Number: SP-2025-01

Review Number: 1<sup>st</sup> review

Project Coordinator: Shani Porter, Planning Director

Recipients:

- MANAGEMENT
- PLANNING
- ENGINEERING
- TRAFFIC
- TOWN ATTORNEY
- PUBLIC WORKS
- POLICE
- BUILDING
- OTHER

---

The following comments must be addressed in order to proceed with the development process. All subsequent submittals should be submitted electronically.

Please submit a revised document addressing all comments and redlines along with a comment response letter to the project coordinator. Large plan sets should be submitted through Dropbox and a link provided.

With the project resubmittal, please indicate whether or not the change was made and provide a response as applicable. Please contact me if you have any questions.

Detailed comments can be found at the following link:

**Shani Porter, Planning Director, Town of Severance**

1<sup>st</sup> review comments (July 15)

1. **The Site Plan shows the location of a future monument sign. Signage needs to adhere to section 16.9.30 of the Municipal Code. Please add all signage details on the site plan for the monument sign and any building signage. Please note the proposed monument sign is currently located in a flood plain area and will be required to apply for all applicable flood plain permits.**

**Applicant response:** The signage will be included with the landscape design. At this time, the horizontal dimensions of the sign are shown within these design

drawings. The more detailed sign design will come at a future stage of the project. It has been noted that the proposed monument sign is within the floodplain. A floodplain development application has been included with this submittal package to address the development within the floodplain.

2. **Please add a note on the site plan depicting all building setbacks.**

**Applicant response:** Setbacks have been shown on the civil site plan. Refer to Sheet C2 for the setback callouts and linework

Town Management – Nick Wharton & Lindsay Radcliff-Coombes, Town Management , Town of Severance

1<sup>st</sup> review comments (July 2025)

1. **No comments at this time**

**Applicant response:** Noted.

Long Range Planning – Josh Olhava, Community Planner , Ayres Associates

1<sup>st</sup> review comments (July 2025)

1. **General:** Change all references from “City” to “Town.” This occurs throughout on all pages.

**Applicant response:** Noted. All references to “City” have been changed to “town.”

2. **General:** Ensure all text is legible at 50% zoom. Currently it appears to be that way but keep this in mind with any adjustments and modifications to improve/maintain legibility of the plan set.

**Applicant response:** Noted. The text will remain legible at 50% zoom during adjustments and modifications.

3. **Cover:** Include Town approved signature blocks on the cover page.

**Applicant response:** The Town approved signature blocks have been added to the cover page.

4. **Cover:** Include overall sheet numbering within the sheet index and on the bottom right-hand corner of all pages. You can keep the C1, C2, etc., but also include 1 of 12, 2 of 12, etc. Typical all pages

**Applicant response:** Additional overall sheet numbering has been added to the sheet index and is included in the bottom right corner.

5. **Cover:** Confirm title naming convention with Shani Porter for consistency. If updates occur, please make them on the sidebar and top of each page of the plan set.

**Applicant response:** Dates of updates have been added to the title block.

6. **Sheet 2: Site Plan (typical all sheets):** Sign specifications and placement are not shown on the site, including ADA signage and if those will be pole mounted or building mounted. Need to confirm placement and overall count throughout the site for those and other signage types. For poles, avoid pedestrian conflicts, visibility barriers, landscaping impacts.

**Applicant response:** Building mounted ADA parking signs have been added to the site plan. There are a total of two proposed signs and one relocated sign. Callouts have been added to identify the signs. Pedestrian conflicts, visibility barriers, and landscaping impacts have been considered.

7. **Sheet 2: Site Plan (typical all sheets):** Driveway access points need to align with properties across the street. We recommend showing this alignment on the site plan sheets.

**Applicant response:** The driveway access point along Mahogany Way has been relocated to align with the property across the street. The existing access across the street is now shown on the site plan sheets. Mahogany Way is a more heavily trafficked road, so the driveways will now align to limit conflicts.

Per coordination with the Town of Severance, the driveway access point on Blue Spruce Drive will remain where initially designed. The western portion of the site will remain undisturbed, and the proposed driveway access will align with the proposed disturbed areas. The Town of Severance indicated this design is acceptable and can remain.

8. **Sheet 2: Site Plan (typical all sheets):** What is planned with the western portion of the site? If the lot is planned to be split, we need to ensure all setbacks and criteria can be met on both lots individually.

**Applicant response:** The western portion of the site is to remain undisturbed. It is noted that all setbacks and criteria will be applied if the lot is eventually split.

9. **Sheet 2: Site Plan:** Include the parking and site details tables per the template below on this sheet.

| Site Data        |   |          |
|------------------|---|----------|
| Description      | Required<br>(per municipal code)<br><i>indicate N/A if not applicable</i> | Proposed |
| Primary Land Use |   |          |

|   |                                     |  |
|---|-------------------------------------|--|
| Accessory Land Use  |                                     |  |
| Site Area   |                                     | [insert: actual sq.ft.]   100%                   |
| Building Coverage   | [insert: required sqft.]            | [insert: actual sqft. and percent of total area] |
| Parking and Driveways   | [insert: required sqft.]            | [insert: actual sqft. and percent of total area] |
| Sidewalks and Trails  | [insert: required sqft.]            | [insert: actual sqft. and percent of total area] |
| Open Spaces   | [insert: required sqft.]            | [insert: actual sqft. and percent of total area] |
| Minimum Setbacks (add additional rows as necessary to capture all sides and all structures) |                                     |  |
| [insert: setback direction]   | [insert: required distance in feet] | [insert: actual distance in feet]                |
| [insert: setback direction]   | [insert: required distance in feet] | [insert: actual distance in feet]                |
| Floor Area Ratio  | [Insert: required floor area ratio] |  |
| Density   |                                     |  |
| Maximum Building Height   |                                     |  |
| Signage   |                                     |  |

| Parking                    |                       |                                 |
|----------------------------|-----------------------|---------------------------------|
| Required Parking Min / Max | [insert: requirement] | [insert: total spaces provided] |
| Standard Spaces            | [insert: requirement] | [insert: total space provided]  |
| ADA Spaces                 | [insert: requirement] | [insert: total space provided]  |
| EV Spaces                  | N/A                   | [insert: total space provided]  |
| Bicycle Parking            | N/A                   | [insert: total space provided]  |

**Applicant response:** Site data table has been added to Sheet 1.

**10. Sheet 2: Site Plan:** Required parking should align with a Clinic use at 5 parking spaces for every practitioner on staff. Confirm this in the parking table requested above. The parking spaces required shall be paved, and overflow are allowed to be aggregate but will need to be maintained. Specify on the plan sheet via notes how maintenance will be provided to avoid potholes and maintain site safety.

**Applicant response:** There will be a total of three veterinarians (practitioners) on staff. Thus, a total of 15 stalls are required. This information has been added to the site data table. A maintenance note has been added to Sheet 2 in the "Site Notes" section.

**11. Sheet 2: Site Plan:** The code requires that parking in the Town Core zoning designation be either located behind the building or screened with a combination of year-round landscaping, landscape screen walls, and/or earthen berms, or similar devices – Sec. 16.9.40. Given the current context of the adjacent properties, additional landscaping or screening shall be provided along the SE corner of the site, along the Scotch Pine Drive side of the east parking lot; and the wall called out along the N/NE side of the drive aisle should

be extended above the drive aisle to provide screening of the parking lot from Blue Spruce Dr. and Mahogany Way.

**Applicant response:** The landscape plan has been updated to address comments.

**12. Sheet 2: Site Plan:** Lighten the sight triangles throughout as they take over the drawing sheet and make it difficult to clearly see the other site elements.

**Applicant response:** Sight triangle linework has been corrected to accurately reflect the sight triangle paths. Additionally, the sight triangle lines have been lightened to better support reading the site elements.

**13. Sheet 2: Site Plan:** Fix ADA parking space callout lead lines. They are pointing to the wrong spaces.

**Applicant response:** ADA parking space callouts have been corrected.

**14. Sheet 2: Site Plan:** A sidewalk is required along the north property line from Mahogany Way to the west end of the property.

**Applicant response:** A sidewalk has been proposed along the entire north property line, which is along Blue Spruce Drive. The sidewalk spans from Mahogany Way to the end of the property to the west.

**15. Sheet 2: Site Plan:** How will someone walk to the site? Currently, there is no designated pathway or sidewalk leading to the site from the perimeter sidewalk systems. Incorporate sidewalks into the site from the north and east driveway access points, at a minimum.

**Applicant response:** A sidewalk has been added to connect the Mahogany Way sidewalk to the site. Additionally, an ADA path has been indicated to connect the newly installed Blue Spruce Drive sidewalk to the site. These sidewalks and pathways have been identified on Sheet 2 with the dashed line ADA route.

**16. Sheet 2: Site Plan (typical all sheets):** Where is mechanical equipment located such as AC units, electric panels, and other associated building or ground mounted equipment? These need to be shown on all sheets and for ground mounted equipment, they need to be clear of walkways and be incorporated into the landscaping. For building mounted, screening and painting need to be referenced in notes and callouts.

**Applicant response:** The mechanical equipment is now shown on the architectural site plan. Refer to sheet A-1 for a depiction of the mechanical equipment.

**17. Sheet 2: Site Plan (typical all sheets):** The driveway servicing deliveries and the trash enclosure needs to be paved.

**Applicant response:** The driveway servicing deliveries and trash is now paved.

- 18. Sheet 5: Arch. Site Plan:** Include an elevation detail of the materials being used for the 'Site Retaining Wall'. Ensure code compliance with walls and fall hazards and incorporate a railing in areas where appropriate.

**Applicant response:** See sheet A-4. Material is given. Detail 1 shows the max. height of the wall at 2'-3". This height does not require fall protection per code.

- 19. Sheet 5: Arch. Site Plan:** Two types of fences are called out on the plans and details provided for the aluminum railing fence. include an elevation detail of the materials being used for the 'Site Retaining Wall'. Ensure code compliance with walls and fall hazards and incorporate a railing in areas where appropriate.

**Applicant response:** See sheet A-4. Manufacturer and style is given for the aluminum fence. Detail 1 shows the max. height of the wall at 2'-3". This height does not require fall protection per code.

- 20. Sheet 5: Arch. Site Plan:** East Side parking spaces note is inaccurate. It states (8) and should be (9) as there are 11 total along the east side, two of which are ADA.

**Applicant response:** Note has been corrected.

- 21. Sheet 5: Arch. Site Plan:** Include monument sign details and images, aligned with the requirements of the municipal code. Include applicable notes as necessary to confirm adherence to code.

**Applicant response:** See Landscape drawings for monument sign location and details.

- 22. Sheet 8: Landscape Plan:** How does angled rock hold up on slopes, particularly on the north/northeast edge of the site? We want to ensure rock mulch does not slide down hills and around sites over time.

**Applicant response:** Angled Rock is the best type of rock mulch to prevent rock sliding down slopes. Another option is to omit weed barrier fabric and/or switch to a gorilla hair wood mulch.

- 23. Sheet 8: Landscape Plan:** Revise tree placement due to Engineering comments with these being shown in utility easements. Tree shade next to the K9 Artificial Turf area would be a nice addition to help shade the space and adjacent parking areas.

**Applicant response:** All trees have been relocated out of all utility easements and 10' away from wet utility lines. Additional trees have been added adjacent to K9 Turf areas.

- 24. Sheet 8: Landscape Plan:** Shade trees should be incorporated in the island extensions and adjacent to parking areas, where practical and in spaces wide

enough for the trees to survive. The peninsula on the NW corner of the parking lot/building site and south of the east parking area should be evaluated for these. It will help shade the site and parking areas and soften the view from adjacent residences and roadways in alignment with the parking screening comments above.

**Applicant response:** Shade trees have been added to all island extensions and adjacent to parking area where there are no utility or easement conflicts.

**25. Sheet 8: Landscape Plan:** Ensure minimum plant sizes in the table meet code, installation should ensure this as well. (2-inch caliper deciduous, 1 ½ inch caliper ornamental, six-foot-tall evergreens, and five-gallon sized container for shrub and ornamental grasses – unless otherwise specified by the Tree Board.

**Applicant response:** Plant sizes in legend meet required minimum sizes per code.

**26. Sheet 8: Landscape Plan:** Minimum landscaping requirements for non-residential uses include the following:

- a. A minimum of 1 tree per 1,000 square feet of landscaped area (includes native grass areas) with 50% of the minimum requirements being shade/deciduous.
- b. A minimum of 1 shrub per 150 square feet of landscaped area shall be provided and must be grouped and distributed throughout the site (does not include the undisturbed area to the west of the overflow parking area). Trees may be substituted for up to ½ of the required shrubs at a rate of 1 tree for every 10 shrubs.
- c. Maximum height for native grass is 8" and shall be maintained as such following establishment of landscaping.
- d. Streetscape landscaping is typically 1 tree for every 35 feet of frontage within the streetscape landscape area. Given the easement limitations, ensure overall site tree requirements are met and trees are placed where possible along streetscape outside of easements.

**Applicant response:** Code requirements A & B have been met. A note limiting seeded areas to 8" has been added to the seed note. The streetscape landscaping has not been met due to easement and utility lines. Trees have been placed along the street where possible and overall landscape code has been met.

**27. Sheet 10: Lighting:** Maximum light levels along the property line to the west, north, and east is 0.2 footcandles and 0.1 footcandles to the south. There appear to be areas where the north and east edges of the site exceed this.

**Applicant response:** Lights have been adjusted to comply with maximum illuminance levels at property line via house side shield specification.

**28. Sheet 10: Lighting:** Maximum levels within the site are 5.0 footcandles in parking and building entries, 1.0 along pedestrian walkways away from the building.

**Applicant response:** Lights have been adjusted to comply with maximum illuminance levels within the site.

Civil Engineering – Chris Messersmith, Colorado Civil Group, Inc

1<sup>st</sup> review comments (7/11/2025)

1. **Please Refer to the Engineering Comments folder containing a memo dated July 11, 2025, for detailed engineering comments as well as redline comments on the Site Plan, reports, and documents.**

**Applicant response:** Noted. Comments on the specified documents have been addressed. Refer to the specific documents for responses directly adjacent to the comments.

2. **Potable Water – Potable water for this project will be provided by the Town of Severance water distribution system. Based on the information provided by the applicant, this project may have an Average Day Demand (ADD) of 2,808 gallons per day (GPD) and a Max Day Demand of 5,308 GPD. This is based on the 1.5" water service included in the development application. The Town of Severance water distribution system projected 2025 MDD is 80.0%, or 1,198,712 GPD, of the Water Service Agreement capacity of 1,497,600 GPD. The Town of Severance has the ability to serve this project with the recent addition of the 1.5 MG ELEVATED WATER TANK. In addition, this business is currently being served by the Town of Severance and is relocating and expanding.**

**Applicant response:** Noted. It is understood that the Town of Severance water will serve the project and has capacity to sufficiently serve the project demand.

3. **Sanitary Sewer – The wastewater for this project will be treated by the existing Town of Severance wastewater treatment facility (WWTF). Based on information provided by the Public Works Department, the Severance WWTF is operating at 88.9% or 137,776 gallons per day (GPD), of its permitted capacity of 155,000 GPD. This is based on the average daily effluent flowrates from June 2025. The Severance WWTF has the ability to serve this project. In addition, this business is currently contributing to the Severance WWTF and is relocating and expanding.**

**Applicant response:** Noted. It is understood that the Town of Severance has the capability to serve the wastewater for this project.

- 4. Floodplain - According to FEMA FIRM Map Number 08123C1213E, the northeast corner of Lot 5, Block 1 is within the existing FEMA 100-year floodplain (Zone AE). The applicant will need to submit a Town of Severance Floodplain Development Permit and meet Severance Municipal Code (SMC) Chapter 16.14 requirements.**

**Applicant response:** A Floodplain Development Permit has been included with this 2<sup>nd</sup> submittal package.

- 5. Legal Description - The separately provided 8.5"x11" written legal description should be revised to include a reference to the recording date and reception number of the Scotch Pine Commercial at Timber Ridge PUD Plat and state the lot area. See redlines. The Town may require a WORD version of the legal description for publication and public hearings.**

**Applicant response:** The separately provided legal description has been revised per the redlines. It now references the recording date and reception number. It is noted that the Town may require a Word version of the legal description.

- 6. Drainage - The drainage from this site was assumed to flow to the inlet on the south side of Blue Spruce Drive in the original drainage report (Scotch Pine Commercial at Timber Ridge). Basin D2 should be broken into two basins to identify peak flows that appear to be flowing into Mahogany Way. This area will likely need to be piped to the Blue Spruce Drive inlet. Runoff from this site that is directed to Mahogany Way will not be routed to the correct inlet.**

**Applicant response:** The proposed site drainage has been changed to route most of the runoff to the inlet on the south side of Blue Spruce Drive. The only runoff bypassing the inlet flows from the proposed driveway access on Mahogany Way directly into the Mahogany Way right-of-way. Thus, the runoff from the project site is being properly conveyed to the correct inlet and ultimately discharges into the regional detention facility. This aligns with the original Scotch Pine Commercial drainage report.

- 7. Water Dedication – The Town's water dedication is based on Equivalent Residential Units (ERU) and the associated water meter size. One (1) Equivalent Residential Unit (ERU) provides a maximum of 205,000 gallons/year. The calculated ERU's will be calculated after the Total Average Demand (gallons/year) is provided. Per the SMC Section 13-1-120, a 1.5" water meter requires 5.0 Equivalent Residential Unit (ERU) to be dedicated to the Town. The Water calculations and Site Plan Set call out a 1.5" water meter for this building.**

**Applicant response:** Noted. A 1.5" water meter is proposed for this building, so 5.0 ERUs will be dedicated to the Town.

- 8. Site Plan, Access – The site access drives need to align with the existing accesses adjacent to the property.**

**Applicant response:** The driveway access point along Mahogany Way has been relocated to align with the property across the street. The existing access across the street is now shown on the site plan sheets. Mahogany Way is a more heavily trafficked road, so the driveways will now align to limit conflicts.

Per coordination with the Town of Severance, the driveway access point on Blue Spruce Drive will remain where initially designed. The western portion of the site will remain undisturbed, and the proposed driveway access will align with the proposed disturbed areas. The Town of Severance indicated this design is acceptable and can remain.

- 9. Site Plan, Parking - The required parking spaces need to meet the SMC 16.4.90 based on land use and building classification. The required parking spaces need to be paved. If overflow parking spaces are provided they can be gravel. It does not appear that on-street parking would count toward the required parking spaces. By shifting the Blue Spruce Drive access to the west additional paved parking stalls could be added.**

**Applicant response:** There will be a total of three veterinarians (practitioners) on staff. Thus, to meet requirements in SMC 16.4.90, a total of 15 stalls are required. There are 20 proposed paved stalls (18 standard and 2 ADA stalls). Additionally, 14 gravel overflow stalls are proposed. No on-street parking stalls are proposed, and the design meets the municipal parking requirements.

- 10. Site Plan, Parking Lot Surface – We recommend a paved surface on the west side of the parking lot between the concrete sidewalk and concrete curb or pan for the trash trucks, delivery trucks and to prevent erosion along the concrete edges.**

**Applicant response:** This area is now paved.

- 11. Site Plan, Blue Spruce Drive Improvements – The existing concrete along the southside of Blue Spruce Drive adjacent to this property is a valley pan (not curb and gutter) and was replaced by the Town last year when they reconstructed Blue Spruce Drive from Foxtail Way to Mahogany Way. Public Works would prefer the valley pan remain to avoid saw-cutting the reconstructed road along the entire lot frontage. The Site Plan calls for proposed curb and gutter.**

**Applicant response:** The existing concrete valley pan will remain. Curb and gutter is no longer proposed.

- 12. Site Plan, Sidewalk - A sidewalk needs to be provided along on the north side of the development. We recommend the sidewalk be 5' wide to meet the Town standard for local roads. If the existing concrete v-pan along the south side of Blue Spruce Drive remains (as is Public Works preference), then the sidewalk should not be attached to the existing v-pan, it should instead be detached & elevated to prevent street runoff from overtopping and ice build-up on the sidewalk. A pedestrian access easement from the Right-of-Way (ROW) to the back of sidewalk will be required by separate document. The Applicant will need to prepare the metes and bounds legal description & exhibit for the agreement.**

**Applicant response:** A detached, five-foot wide sidewalk is now proposed along the north side of the development. The proposed grading elevates the sidewalk above the existing concrete valley pan to avoid street runoff from overtopping the sidewalk and creating ice. A pedestrian access easement will be provided to encompass the proposed sidewalk. It has been noted that a legal description and exhibit will be required for the easement. This will occur in future stages of the project.

- 13. Site Plan, Landscaping - Remove all trees from the existing 10' utility and drainage easements.**

**Applicant response:** All trees have been removed from the existing 10' easement.

#### Traffic Engineering – Eli Farning, JR Engineering

1<sup>st</sup> review comments (7/09/25)

The proposed Platte Valley Veterinary facility is anticipated to generate fewer than 200 daily vehicle trips, which is below the threshold requiring a formal TIS per Town standards. While a base assumptions form is typically required for traffic-related submittals, in this case, the form would offer limited value and may be reasonably waived. Since the project involves relocating an existing veterinary facility, the actual number of net new trips may be even lower than estimated.

#### **Recommendations for Town consideration:**

1. Align Proposed Access A with the existing driveway on the east side of Mahogany Way.

2. Align Proposed Access B with the existing driveway on the north side of Blue Spruce Drive.
3. Prepare a signage and striping plan for Mahogany Way, from Harmony Road to Scotch Pine Drive, to ensure clear delineation of travel lanes and to accommodate the new access points effectively.

**Applicant response:** (1) The driveway access point along Mahogany Way has been relocated to align with the property across the street. The existing access across the street is now shown on the site plan sheets. Mahogany Way is a more heavily trafficked road, so the driveways will now align to limit conflicts.

(2) Per coordination with the Town of Severance, the driveway access point on Blue Spruce Drive will remain where initially designed. The western portion of the site will remain undisturbed, and the proposed driveway access will align with the proposed disturbed areas. The Town of Severance indicated this design is acceptable and can remain.

(3) A signage and striping plan for Mahogany Way was analyzed. When looking at the site, there are no existing stripes along Mahogany Way to the north or south of the subject property. If stripes were added, they would not connect to existing stripes in the north and south direction and would be isolated along the property. The access points along Mahogany Way now align, which better meets driver expectations. Overall, the realignment supports clear delineation of access. Since there are no existing stripes along Mahogany Way and the driveways align, a signage and striping plan no longer appears necessary.

**Town Attorney – Nina Williams, Town Attorney, Wilson Williams Fellman Dittman**

1<sup>st</sup> review comments (July 2025)

1. **No comments at this time**

**Applicant response:** Noted.

**Public Works – John Zacklenc, Public Works Director, Town of Severance**

1<sup>st</sup> review comments (July 15)

1. **Please keep the street names as is**

**Applicant response:** Noted.

2. **Blue Spruce was replaced with gutter plans last year. The new sidewalk along the north side of the lot will need to accommodate the existing pans.**

**Applicant response:** A detached, five-foot wide sidewalk is now proposed along the north side of the development. The proposed grading elevates the sidewalk above the existing concrete valley pan to avoid street runoff from overtopping the sidewalk and creating ice. The existing gutter pans will remain.

**3. There stub out for the water will need to be located.**

**Applicant response:** At the time of construction, the existing water stub will be located. The contractor will cut and plug the existing stub. A new water service stub will be installed for a 1.5" water line.

**4. The current water service line is a 3/4". The applicant is requesting a 1 1/2 "**

**Applicant response:** Correct.

**Police - Chief Chavez, Chief of Police, Severance Police**

1<sup>st</sup> review comments (July 2025)

**1. No comments at this time**

**Applicant response:** Noted.

**Building Department – Russ Weber, Chief Building Official, SAFEbuilt**

1<sup>st</sup> review comments (July 2025)

**1. No comment at this time**

**Applicant response:** Noted.

**Outside of the Town of Severance Referrals**

Please address the following comments attached to this review:

1. 2025-07-03 Loup comment letter – PlatteValleyVet
  - a. **Applicant Response:** Responses have been included adjacent to comments within this document. Response document has been included with 2<sup>nd</sup> submittal package.
2. CDOT 6.16.25
  - a. **Applicant Response:** Responses have been included adjacent to comments within this document. Response document has been included with 2<sup>nd</sup> submittal package.

3. Fire Dept 6.16.25
  - a. **Applicant Response:** Responses have been included adjacent to comments within this document. Response document has been included with 2<sup>nd</sup> submittal package.
  
4. Excel 7.3.25
  - a. **Applicant Response:** Responses have been included adjacent to comments within this document. Response document has been included with 2<sup>nd</sup> submittal package.

Please revise the plans accordingly and respond to all of the above action items in the **Applicant Response** area provided at your earliest convenience. Once the project is resubmitted it will be referred out as necessary, and any outstanding issues will be addressed with a comment response. If you should have any questions, please contact me at 970-652-3182, or email.

Thank you,

**Shani Porter**  
Planning Director  
[sporter@townofseverance.org](mailto:sporter@townofseverance.org)



## Planning Department

### January 2026 Department Update

The Planning Department continues to review several development applications across Town. Below is a summary of projects currently under review, followed by a few highlights from our work in 2025.

- **Northgate Lake (Final Plat):** 315 acres north of Harmony Road and east of CR 21, proposing ~600 single-family homes with future mixed uses and open space.
- **Buffalo Creek (Preliminary Plat):** 270 acres south of WCR 78 and east of Lathim Parkway, proposing single-family and duplex homes with significant open space.
- **WinDance (Preliminary Plat):** 168 acres north of Highway 392, proposing approximately 569 single-family homes and 34 acres of open space.
- **Platte Valley Veterinary Clinic (Site Plan):** Proposed two-story, 7,856-sq-ft clinic at 335 W. 4th Ave.
- **Saddle Ridge Tracts 9 & 10 (Final Plat):** 11 acres north of SH 14, proposing paired homes and single-family lots.
- **Schlagel Minor Subdivision:** Four rural residential lots west of CR 21.
- **Saddler Southern (Preliminary Plat):** 46 acres proposing single-family homes and commercial space.
- **Berrado Holdings (Minor Subdivision):** 20-acre lot for an existing PRPA electrical substation.

Several of these projects will move forward to public hearings before the Planning Commission and Town Council.

---

### **In 2025, the Planning Department:**

- Updated the Land Use Code layout to improve usability
- Processed 133 Business Licenses and 18 new Home-Based Business Permits
- Issued 79 Business licenses with a Severance address
- Created a new Business Directory on the Town's website
- Continued archiving planning documents for improved access



# 2025 New Single-Family Residential Permit Activity

## Overview of Permit Activity

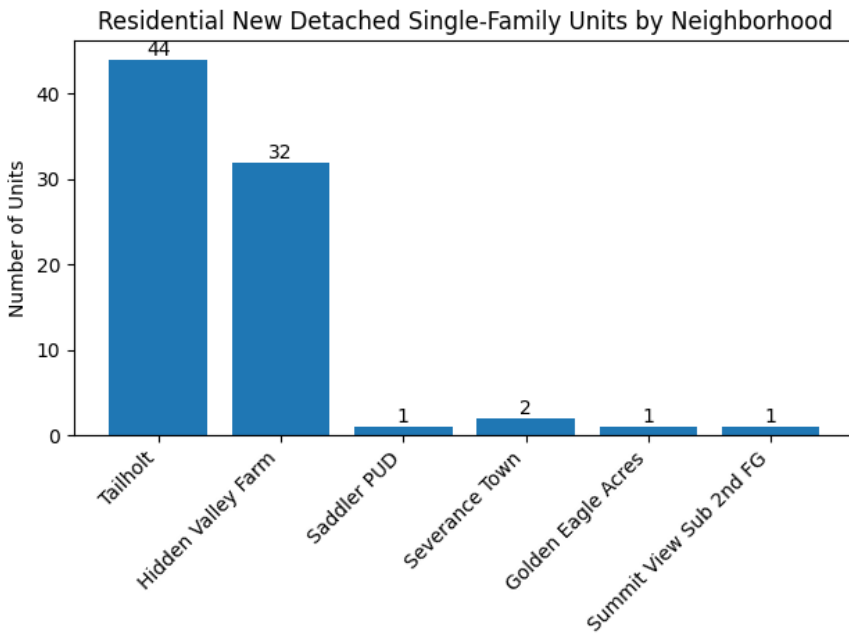
A total of 81 new single-family residential building permits were issued during 2025. Residential development activity remained steady throughout the year.

### Permit Activity by Subdivision

---

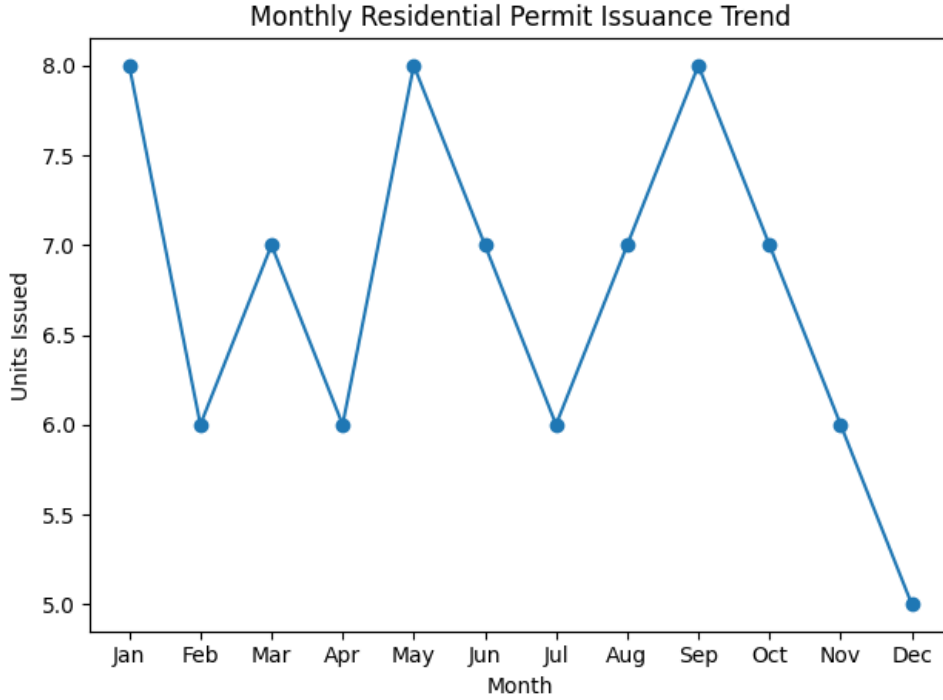
#### Neighborhood / Subdivision Units Approved

|                    |                 |
|--------------------|-----------------|
| Tailholt           | 44              |
| Hidden Valley Farm | 32              |
| Saddler PUD        | 1               |
| Severance Town     | 2               |
| Summit View        | 1               |
| Golden Eagle Acres | 1               |
| <b>Total</b>       | <b>83 Units</b> |



As illustrated above, the majority of permits were issued within the Tailholt subdivision. This pattern reflects continued buildout in planned growth areas and aligns with previously approved development entitlements.

## Monthly Permit Issuance Trends



Residential permit issuance occurred consistently throughout the year, with a modest increase during the late summer and early fall months. A seasonal slowdown is evident toward the end of the year, which is typical of residential construction cycles.

